



# **PINELLAS COUNTY HISTORIC PRESERVATION BOARD**

## **AGENDA**

**Wednesday, January 20, 2016 9:00AM – 11:00AM**

Pinellas County Planning Department, Conference Room, 1<sup>st</sup> Floor  
310 Court Street, Clearwater, FL 33756

- I. Call to Order and Introductions** – Chairman Morroni
- II. [Approval of Minutes](#)** – November 18, 2015 meeting
- III. Public Hearing to Review Requests for Certificates of Appropriateness**
  - A. [2016-1: Mackenally Investments, LLC, 917 11<sup>th</sup> St., Palm Harbor](#)
  - B. [2016-2: Geographic Solutions, Inc., 905 11<sup>th</sup> St., Palm Harbor](#)
- IV. [Work Plan Discussion](#)**
  - A. Updates on Fiscal Year 2016 landmark designation prioritization
  - B. Grant proposal/historic marker program discussion
- V. [2016 Summit Planning](#)**
  - A. Update on potential collaborations with the City of St. Pete Beach and the Clearwater Historical Society
- VI. [Other Business](#)**
  - A. Updates on Communications Department collaborations regarding the Old Palm Harbor Design Review Manual, the Historic Preservation Board logo and the website.
- VII. Public Comments**
- VIII. Board Member Comments**
- IX. Chairman's Comments**
- X. Adjournment**

**Historic Preservation Board Agenda Item II.**

**Approval of November 18, 2015 Meeting Minutes**

- The minutes of the November 18, 2015 Historic Preservation Board meeting are attached for review and approval.

**Attachment(s):** Historic Preservation Board Minutes of November 18, 2015 meeting.

**Action Required:** Approval of Minutes.

# HISTORIC PRESERVATION BOARD (HPB) MEETING MINUTES

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**Date:** November 18, 2015

**Time:** 9:00 a.m.

Pinellas County Planning Dept., Conference Room, 1<sup>st</sup> Floor  
310 Court Street, Clearwater

## **Attendees:**

Board Members: Commissioner Justice (Chair); Brian Smith, (Vice Chair) John Barie; David MacNamee; Gina Clayton; Rae Clair Johnson; Emily Elwyn; Vinnie Luisi; *Absent:* Cyndi Tarapani; County Staff: Courtney Vandenburg; Chris Moore; Liz Freeman; Scott Swearengen; David Sadowsky

- I. Call to Order – Commissioner Justice called the meeting to order, and introduced his new assistant, Courtney Vandenburg, who is replacing Ralph Reid. He also announced Liz Freeman's retirement, and then introduced Scott Swearengen, who will replace Liz as staff. In addition, as Commissioner Justice will be Chairman of the BCC in January, he will probably be appointing a replacement for himself on the HP Board.
- II. The Minutes of Sept. 18, 2015 – The minutes were approved unanimously.
- III. Summit Discussion: John Barie gave an overview of the Historic Preservation Summit held in Oldsmar. This was a very successful event, attended by about 50 people. The feedback for the presentations was positive, especially the presentation by Vice Mayor of Oldsmar, Gabby McGee. Also enjoyed were the food and the tours that were provided after the Summit. At the Summit, John asked for anyone interested to take on the hosting for the next summit. So far, no one has stepped forward. He hopes to have a meeting with Safety Harbor to see if they will host a fall summit, as their centennial will be in 2016. He has nothing for the spring, and asked Gina Clayton whom to contact for the City of Clearwater. Brian Smith suggested contacting St. Pete Beach. John will contact both city members to gage their interest.
- IV. Status of Landmark Designation of Ozona Village Hall: Chris Moore related that the designation was unanimously approved at the Nov. 10<sup>th</sup> Board meeting. He thanked Brian for his presentation.
- V. Certified Local Government Annual Reports: Chris reviewed the enclosed reporting forms that have been received from the State. The draft form has been completed, and he asked the Board for approval to submit it to the State. The actual form will be submitted, and an attachment will be included listing the additional activities that were not listed on the required form. Brian Smith questioned the designation status of previous designations, (pre-CLG, and post-CLG). Discussion followed. A motion was made to approval the submittal of the CLG reporting form, with the the annual report created by staff included as an attachment. The motion was passed unanimously. Chris brought up the fact that on the annual report there is no easy way to identify if the work has been

performed. There is a need for some type of verification process, and he will be working with DRS to ensure verification of completed work.

- VI. Work Plan Discussion: Chris presented the current status of the Anclote Lighthouse designation. The Friends of the Lighthouse are not willing to support designation. The Park Manager was open to the designation, and the State Division of Historical Resources likes the idea, and recommends proceeding. He asked the Board if they wanted to proceed with this designation, despite the Friends of the Lighthouse lack of support. Discussion followed on the merits of the Board proceeding, or not. Chris then went on to discuss the issues involved with designating the Yat Kitchee site. Liz Freeman related the multiple issues with this site, and recommended proceeding very slowly and cautiously due to these issues with the airport and the Native American community. Discussion then followed on the protection provided by our local historic preservation ordinance, and protection provided by designations. Commissioner Justice suggested an ordinance review for next year. As more information was needed before proceeding with these two sites, the next discussion was Weedon Island. Chris stated that we would need to coordinate with the City of St. Petersburg. Chris will proceed to make contact with the city for the unincorporated portion of Weedon Island. Liz then discussed the shell path in Crystal Beach. Crystal Beach is already working with the County to do a Community Overlay. Liz and Chris will continue to research this property, and bring back more information for the January meeting. Liz then went on to discuss Rose Cemetery in Tarpon Springs. She has spoken with the city's Cultural Resources staff, to learn about the property. After talking with staff, Liz feels there is an opportunity to work with them to obtain a National Register nomination. A motion was made to direct staff to continue to research this list of potential designations. The motion passed unanimously. When the Board meets again in January, they will have a more prioritized list of potential designations, and a better idea of which project(s) to start with. Chris then went on to discuss the update to the Old Palm Harbor Design Review Manual. The manual itself could be updated in-house, (text, photos, graphics, etc.) but updating the design standards themselves would be a much bigger task requiring amending Chapter 146 of the land development code. Staff recommended just updating the manual itself, and not the design standards. Staff also discussed the second manual/pamphlet, which would be informational as how and individual can apply to have their house designated as a historic structure or how a community can become a historic district, as well as provide other informational guidelines including various incentives available to them. John Barie asked about updating Chapter 146 to add graphics. He would also like to see the Board develop educational guidelines for designating properties, mainly residential, for the public. Chris said this is the intent of the pamphlet and that we can work to add graphics to Chapter 146. A Fiscal Year 2016 grant proposal was the last work plan item discussed. A few subjects were discussed, including the bridge survey. The application would be due June 1<sup>st</sup>. It was decided to revisit the grant proposal in January. along with a discussion on participating in the State's historical marker program or creating one for the County.



- VII. Other Business Items: Liz related that she has contacted the County's Communications Dept. and they will be designing a Historic Preservation logo. She hopes to have some samples in early 2016. The logo would be used on the landmark designation plaques, official letters, etc. John Barie gave a recap of his presentations to the Pinellas Realtors Assoc. and the Mid-Pinellas Rotary Club. Brian Smith asked about recognizing historic sites, for example, where a site itself was historic, but did not contain an actual structure or the structure no longer exists. A discussion followed on the State's historic marker program and it was decided the topic will be discussed again in January. The 2016 HPB meeting schedule for 2016 was set, which will be the 3rd Wednesday of every other month, starting with January.
- VIII. Adjournment

**Historic Preservation Board Agenda Item III.A.**

**Public Hearing conducted by the Historic Preservation Board (HPB) to Review Request for Certificate of Appropriateness (COA)**

**Case Number:** COA 2016-1

**Applicant:** Mackenally Investments, LLC

**Subject Property:** 917 11<sup>th</sup> Street, Palm Harbor, FL 34683

Consistent with the responsibilities of the HPB outlined in chapter 146 of the Pinellas County Land Development Code, a public hearing will be conducted by the HPB to review COA application concerning porch and restroom additions. This case involves a non-contributing structure within the Old Palm Harbor Zoning District.

**Attachment(s):** Copy of staff report, COA application, associated photos, public notice and site map.

**Action Required:** Conduct a public hearing on the application and take final action on the proposed COA.

# Certificate of Appropriateness Application Report

Case Number 2016-1

Pinellas County Historic Preservation Board ► 1/20/2016

**Applicant:** Mackenally Investments, LLC

**Subject Property:** 917 11<sup>th</sup> Street, Palm Harbor, FL 34683

**Project Description:** 2,889 sq. ft. porch addition featuring concrete footers, wood framing and a metal roof is proposed to provide additional outdoor seating for 120 people is proposed. The floor of the addition will remain crushed shell. Additional work includes converting two small windows on the north elevation of the existing building into one large serving window and building a wooden deck to create a walk-up bar, and building an outdoor restroom adjacent to the rear of the existing building to meet building code requirements resulting from the additional seating.

**Staff Recommendation:** Approval

**Historic Preservation Board Action:**

# Certificate of Appropriateness Application Report

## Case Number 2016-1

**STAFF REVIEW:** Formerly LuLu's Café, the structure is located at 917 11<sup>th</sup> St in the Old Palm Harbor Downtown Zoning District (OPH-D). While located in OPH-D, the structure is not in the Downtown Palm Harbor Historic District; however, per section 138-1006 of the Pinellas County Land Development Code, "all new development, alteration, demolition, relocation, reconstruction, and excavation within the OPH-D district shall be subject to the requirements and procedures of section 146-7 for certificates of appropriateness." As such, the alterations to this site must be consistent with the design criteria contained in chapter 146 pertaining to the Downtown Palm Harbor Historic District.

The primary alteration involves adding a 2,889 sq. ft. porch addition to provide outdoor seating for 120 people, bringing the restaurant's total seating capacity up to 150. The porch addition will feature concrete footers, wood framing and a metal roof. The flooring will remain the existing crushed shell. Additional work includes converting two small windows on the north elevation of the existing building into one large serving window and building a wooden deck to create a walk-up bar, and building an outdoor restroom adjacent to the rear of the existing building to meet building code requirements for the additional seating.

Staff finds that the proposed alterations are consistent with the design criteria outlined in chapter 146 of the Pinellas County Land Development Code for non-contributing structures. The tables on the following pages detail the general criteria for evaluating certificates of appropriateness and the design criteria for the Palm Harbor zoning and historic districts as they relate to the alterations proposed at 917 11<sup>th</sup> Street.

**STAFF RECOMMENDATION:** Planning Department staff feels that the proposed alterations are generally in conformance with the design criteria for non-contributing structures within the Downtown Palm Harbor Historic District. Additionally, redevelopment of the site will provide additional economic stability to the District, and could provide a catalytic effect on development south of Florida Avenue. Therefore, staff recommends the Certificate of Appropriateness be approved.

**ATTACHMENTS:** Certificate of Appropriateness application, location map, construction documents and associated photographs.

## Sec. 146-7(6): General Criteria for Evaluating Certificates of Appropriateness

Criteria	Criteria Met?	Comment
a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.	✓	Property will be used for its prior use and changes will be minimal.
b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.	✓	No historic materials will be removed.
c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.	✓	No false architectural details will be introduced.
d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.	N/A	
e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.	✓	No distinctive features will be removed.
f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.	✓	No deteriorated historic features will be removed.
g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.	✓	No chemical or physical treatments will be used.
h. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	✓	Alterations do not destroy historic materials that characterize the property and the new work is differentiated from the old and is compatible.
i. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	✓	If new additions are removed in the future, the essential form and integrity of the property will be unimpaired.
j. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.	N/A	Not applicable.

## Sec. 146-7(7): Design Criteria for Downtown Palm Harbor Historic District

	Criteria	Criteria Met?	Comment
a.(1.)	The scale (height/width ratio) of new construction, or of alterations/additions to existing structures, shall be similar to that of the contributing structures in the District.	✓	The scale of the porch and restroom additions will be consistent with contributing structures in the District.
a.(2.)	New buildings or alterations/additions to existing structures shall not be built higher than the existing buildings in the District as of the time of designation. The height of new construction, or of alterations/additions to existing structures, shall not exceed 30 feet in height when measured at the eave of the structure.	✓	The porch and restroom additions will be the same height as the existing building, which is 15 feet.
a.(3.)	The historical setback patterns and street-facing orientation shall be maintained for new and reconstructed buildings. New buildings shall be built flush with the public right-of-way except in cases where the presence of mature trees requires that the building be located back from the street. The orientation of new buildings, and of alterations/additions to existing buildings, shall maintain front-facing facades with the main entrance on the street side of the building.	✓	Front-facing facades and main entrance will remain as is.
a.(4.)	The size, slope, and type of roofs for new construction, or for alterations/additions to contributing structures, shall be similar to those of the contributing structures.	✓	
a.(5.)	Shutters shall be in character with the style and period of the building. Replacement shutters shall be similar to the original in size, configuration, and style, and shall fit the window openings, not to overlap on the surface of the wall.	✓	Outdoor bar window/shutter will be a hinged door that attaches to a roof joist when opened. Exterior of door will be siding so that opening will be concealed and unrecognizable when the restaurant is closed.
a.(6.)	Porch additions shall have a roof type that is either similar to the existing roof or that is in character with the style and period of the building.	✓	Porch addition roof is in character with the style and period of the building.
a.(7.)(a)(1)	Fences and walls on all street frontages shall be constructed only of decorative open pickets, decorative metal, brick, or stamped concrete which are compatible with the streetscape design materials.	N/A	
a.(7.)(a)(2)	No fence or wall shall be constructed of corrugated sheet metal, barbed wire, chicken wire, or similar materials.	N/A	
a.(7.)(a)(3)	Chain link fences concealed by landscaping may be allowed along the side of property that has no street or alley frontage.	N/A	

## Sec. 146-7(7): Design Criteria for Downtown Palm Harbor Historic District

Criteria		Criteria Met?	Comment
a.(7.)(b)	On all street frontages (except for frontage on an alley), walls and fences shall not exceed three feet in height, except in those instances where a higher fence is required by section 138-1286 for screening dumpsters.	✓	Dumpster fence meets criteria in Sec. 138-1286 for screening dumpsters.
a.(7.)(c)	No fence or wall shall be constructed within a public right-of-way, right-of-way easement or utility easement, unless authorized by the County.	✓	
a.(7.)(d)	No fence or wall shall enclose a water meter box or manhole, unless authorized by the County.	✓	
a.(7.)(e)	Where not specifically changed in this section, fences and walls shall otherwise comply with section 138-1336.	✓	Dumpster fence will comply with section 138-1336.
a.(8.)	Historically, building, trim, and roof colors have not been a major defining component of the District. Choice of colors should complement and enhance the character of the District. For new construction and noncontributing structures, specific color choice is left to the discretion of the property owner. For contributing structures, the general criteria for evaluating certificate of appropriateness shall be followed.	✓	Color scheme will remain the same.
a.(9.)	On-street or alley parking should be maintained. Historical parking patterns should be followed in site-plan requirements for new construction.	✓	Alley will continue to provide access to parking and on-street parking will be maintained.
<b>b.</b>	<b>Contributing Structures</b>		
b.(1.)	If windows and doors in contributing structures are determined to be un-repairable, they shall be replaced with new windows and/or doors matching the size, spacing, and where possible, materials of the originals. The use of materials other than the original materials shall be considered by the historic preservation board or county staff on a case-by-case basis.	N/A	
b.(2.)	Porches and porch features that are in good condition or repairable, and which are in character with the style and period of the building, shall be retained. Porches and porch features shall be repaired so they match the existing in materials, size and configuration.	N/A	

Sec. 146-7(7): Design Criteria for Downtown Palm Harbor Historic District

	Criteria	Criteria Met?	Comment
<b>c.</b>	<b>Non-Contributing Structures</b>		
c.(1.)	Where possible and appropriate, alterations and additions to noncontributing structures shall be similar to the major features, details and materials found in the contributing structures. Alterations and additions shall not introduce false historical architectural features not found in the District.	✓	Major features, details and materials of porch and restroom additions are consistent with contributing structures in the District.
c.(2.)	Where possible and appropriate, when renovating an existing noncontributing structure, new or replacement windows and/or doors shall be similar to the size, spacing, materials and general rhythm of the windows and/or doors found in the contributing structures.	✓	Outdoor bar window/shutter will be a hinged door that attaches to a roof joist when opened. Exterior of door will be siding so that opening will be concealed and unrecognizable when the restaurant is closed.
<b>d.</b>	<b>New Construction</b>		
d.(1.)	The roof types of new buildings shall conform to the roof types of the contributing structures in the District. Gable, pyramidal (hip), and flat roofs with parapets are found in the contributing structures. Use of a roof type that is not present in the contributing structures, and which can be seen from the street is prohibited. Alternative roof styles can be used if they are concealed by a parapet and are not visible from the street.	N/A	
d.(2.)	Proportions, configurations, and placement of windows and/or doors in new buildings shall be similar to the size, spacing, materials and general rhythm of the window/door fenestration found in the contributing structures.	N/A	
d.(3.)	Use of double-hung sash windows with two—four lites is encouraged. Jalousie windows are prohibited. Recessed entrances are encouraged.	N/A	
d.(4.)	Major architectural features, detailing and materials used in new construction shall be similar to those of the contributing structures found in the District.	N/A	
d.(5.)	Modern equipment such as solar collectors, air conditioners, etc. shall be concealed from public view.	N/A	



## Pinellas County Certificate of Appropriateness Application

### For Staff Use Only

COA # \_\_\_\_\_

HPB/Staff Decision: \_\_\_\_\_

Date: \_\_\_\_\_

Staff Signature: \_\_\_\_\_



**Instructions:** Your application cannot be evaluated unless it is complete and all required supporting materials are *provided*. Type or print clearly in black ink. If additional space is needed, attach additional sheets. The Certificate of Appropriateness is valid for a period of 60 days after the date of its approval. After the expiration date, a six-month extension may be requested to complete the work in progress if the owner can show cause why the work has not been completed. Otherwise the owner must reapply.

### A. GENERAL INFORMATION (To be completed by all applicants).

#### 1. Property Identification and location:

Name of Property/Business: Mackennally Investments, LLC

Property Identification Number (from tax records): 01-28-15-88650-105-0100

Address of Property: 917 11th Street, Palm Harbor, FL 34683

#### 2. Mailing Addresses:

Property Owner: Mackennally Investments, LLC

Address: 3483 Alternate 19

City: Palm Harbor State FL Zip Code 34683

Phone Number (H) 727-639-4763 (W) 727-784-7624

Occupant: N/A

Address: N/A

City: N/A State: N/A Zip Code: N/A

Phone Number (H) N/A (W) N/A

Agent/Engineer/Architect: N/A

Address N/A

#### 3. Existing Uses and Building Condition:

#### 4. Type of Request:

#### Proposed Use:

	Alteration of an archaeological site		Single-Family residence
x	Exterior alteration of building/structure		Multi-family residence
	New Construction	x	Restaurant
	Demolition		Office
	Relocation		Commercial
			Other

7. **Estimated Cost of Work:** \$50,000

8. **Written Description of Proposed Work:**

All applications must include two black and white photographs in 3"x5" format, with different views showing the sides of the designated property which will be altered. Also, if required, include photographs of all adjacent properties.

Explain what changes will be made and how they will be accomplished. If required, submit detailed plans and elevation drawings and specifications to support the written description.

<b>Exterior Building Features (Include material samples when necessary)</b>	
<b>Structural Systems:</b>	<b>Roofs and Roofing:</b>
N/A	Porch and restroom additions will have a metal roof.
<b>Windows and Doors:</b>	<b>Materials: (masonry, wood, metal):</b>
Two windows on north elevation will be combined into one serving window with a hinged door that attaches to a roof joist when opened. Exterior of hinged door will match existing siding to conceal the door when the restaurant is closed.	Porch addition: metal roof, concrete footers, wood framing. Restroom addition: Hardie plank siding, metal roof.
<b>Porches, Awnings, Steps &amp; Fences:</b>	<b>Painting and Finishes:</b>
Porch addition will consist of a metal roof, wood framing and concrete footers to accommodate comfortable outdoor seating. The flooring will remain the existing crushed shell.	Painting and siding will match existing building.
<b>Environmental Features: (Grading, landscaping, parking, subsurface work, etc.)</b>	
Re-aligning on-site parking to south side of building.	

5. **Owner Attestation:**

The information on this application represents an accurate description of the proposed work and the undersigned has omitted nothing that might affect the decision of the Pinellas County Historic Preservation Board (HPB) and/or County Staff. The undersigned hereby certifies that the project described in this application, as detailed by plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. It is understood that approval of this application by the HPB and/or County Staff in no way constitutes approval of building permit or other required County permit approvals.

Signature (Owner) 

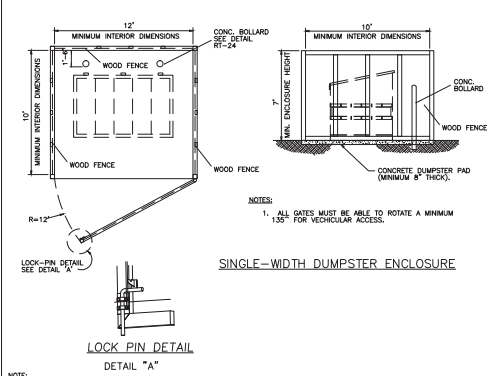
Date: 12/3/2015

Signature (Agent) \_\_\_\_\_

Date \_\_\_\_\_

Data Table		
Zoning	CPHD-21- Restaurant, California (Shack & Alpa Plaza Hall)	
Parcel Number	00-28-15-88500-205-0200	
CPHD, Old Palm Harbor Downtown District, East Sub District, not abutting Florida Ave., East of Alternate 19		
Site Area	11,519 sq. ft.	
Heated / Airconditioned Area	1,551 sq. ft.	
Covered Porched Area	2,609 sq. ft.	
Sec. 138-1011 - Off-street parking		
(2) In the east sub-district, the minimum number of off-street parking spaces provided shall be equal to the following:		
a. For retail uses, personal services, studios and galleries, eating and/or drinking establishments, artisan establishments, and alcoholic beverage production facilities, the minimum number of off-street spaces provided shall be equal to 2.1 parking spaces per 1,000 square feet of gross floor floor area. Outdoor work areas and outdoor display and/or sales of retail goods, wares and merchandise that are equal to or less than 400 square feet in area are not included when calculating the required number of minimum off-street parking spaces.		
(5) Any outdoor seating area shall be included when calculating the required number of minimum off-street parking spaces, except that no off-street parking shall be required for an outdoor seating area that allows up to 24 seats and is equal to or less than 400 square feet in area. An outdoor seating area shall be accessory to an eating and/or drinking establishment with indoor dining.		
Parking Calculation per Code 138-1011(2) (5) Off Street Parking = 2.1 / 1,000 s.f. x (1,551 s.f. + 2,609 s.f. - 400 s.f.) = 3,760 s.f.		
1,000 s.f. = 3.76 x 2.1 per 1,000 = 7.90 Off Street Parking		
Lot	0.13 ac.	
Patron Area	763.55 s.f.	
Non Patron Area	663.55 s.f.	
Drainage - No onsite Drainage is required for this property per (Ord. No. 02-42, § 3, 5-21-02; Ord. No. 04-72, § 3, 10-19-04; Ord. No. 15-08, § 5, 2-10-15)		
Building Use		
Restaurant / Cafeteria		
Available Seats	150 units	
Staff	5 units	
Total Occupancy	155 units	
Total ADA Restrooms	4 units	

WIND DESIGN CRITERIA		
DESIGN CONFORMS TO FLORIDA BUILDING CODE, 2014 5TH EDITION		
ALL EXTERIOR WINDOWS AND GLASS DOORS ARE REQUIRED TO BE TESTED IN ACCORDANCE WITH ANSI/AMMA/NWDA 101/152 STANDARD AND BEAR AN AMMA OR WDMA LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS, AND APPROVED PRODUCT TESTING ENTITY.		
BASIC WIND SPEED	150 MPH 3 SECOND GUST	
WIND IMPORTANCE FACTOR	1.0	
BUILDING CATEGORY	II	
WIND EXPOSURE	C	
INT. PRESSURE COEF.	+/- 0.18 OPEN	
COMPONENTS AND CLADDING		
ROOF:	AT 10 SQ. FT.	+ 20.9 / - 70.1 PSF
	AT 20 SQ. FT.	+ 19.0 / - 63.6 PSF
	AT 50 SQ. FT.	+ 16.7 / - 55.0 PSF
	AT 100 SQ. FT.	+ 14.7 / - 48.6 PSF
WALL:	AT 10 SQ. FT.	+ 36.3 / - 48.6 PSF
	AT 20 SQ. FT.	+ 34.6 / - 45.4 PSF
	AT 50 SQ. FT.	+ 32.5 / - 41.0 PSF
	AT 100 SQ. FT.	+ 30.8 / - 37.7 PSF
OVERHANG:	- 113.7 PSF	



NOTE: 1. THE OUTER DIMENSIONS OF EACH TYPE OF DUMPSTER ENCLOSURE MAY VARY DEPENDING UPON THE CONSTRUCTION METHOD CHOSEN FOR EACH TYPE OF DUMPSTER ENCLOSURE.

2. GATE SHALL OPEN A MINIMUM AT 135°.

### Dumpster Pads and Enclosures

DIVISION 12 - CPH-D, OLD PALM HARBOR-DOWNTOWN DISTRICT

(7) Alcoholic beverage production facilities include microbreweries, brewpubs, wineries, distilleries, cideries, meaderies, and other producers of alcoholic beverages for sale and distribution. Alcoholic beverage production facilities in the CPH-D district shall be subject to the following requirements:

- The facility shall produce no more than 30,000 barrels (900,000 U.S. gallons) of beer and/or cider per year (microbrewery/cider), 100,000 U.S. gallons of wine and/or mead per year (winery/meadery), or 15,000 U.S. gallons of spirits per year (distillery).
- This use shall be permitted only in conjunction with a restaurant, tasting room or retail sales.
- No more than 75 percent of the total gross floor space of the establishment shall be used for the alcohol production function, including, but not limited to, the brewhouse or equivalent, boiling and water treatment areas, laboratories, bottling, canning and kegging lines, milling and storage, fermentation tanks, conditioning tanks, and serving tanks.
- All outdoor mechanical equipment shall be concealed from public streets (excluding alleys) and adjacent residential uses.
- No outdoor storage shall be allowed, including the use of portable storage units, cargo containers and tractor trailers.

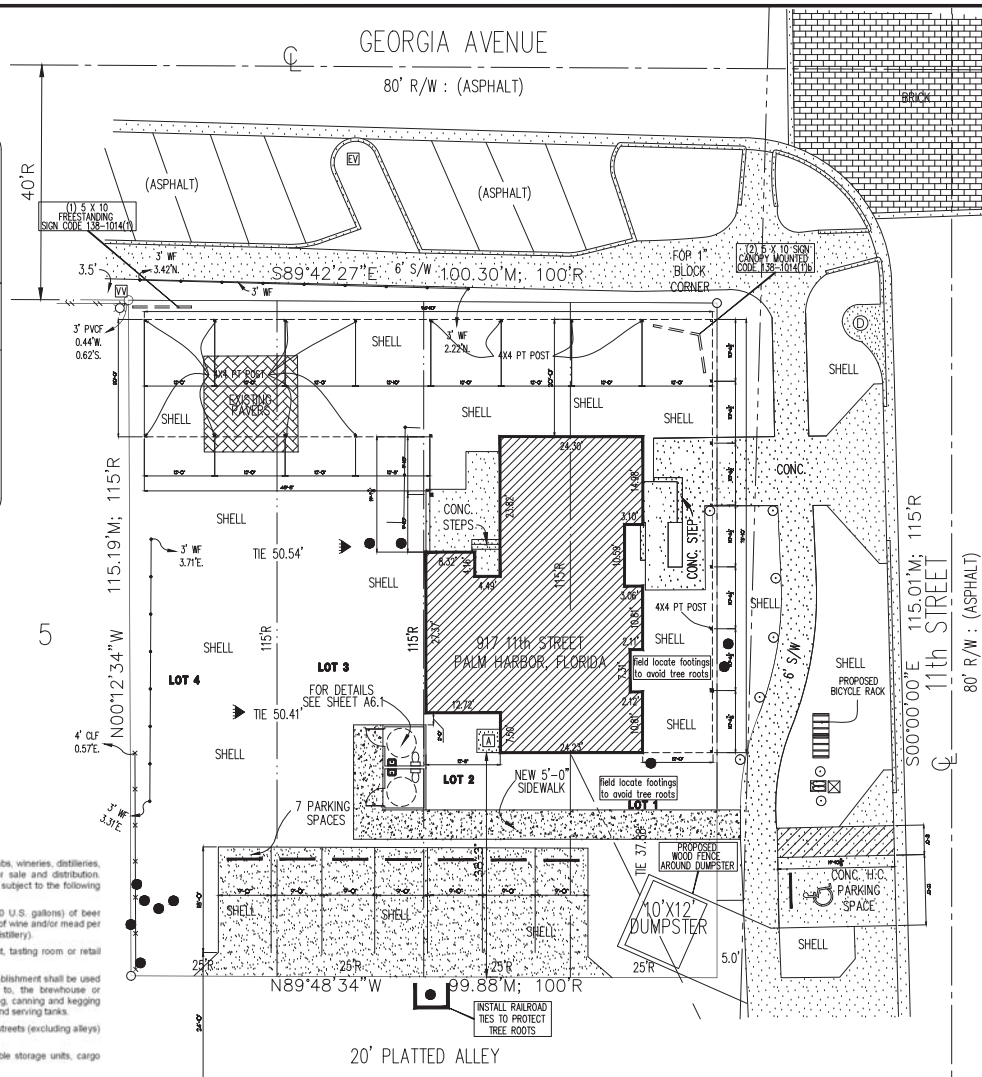
(8) Bed and breakfast shall be subject to the following requirements:

- Offers transient accommodations to lodgers in ten or fewer guest rooms for rent.
- A maximum six-square-foot sign may be provided to identify the facility location in the east sub-district.
- A maximum two-square-foot sign may be provided to identify the facility location in the west sub-district.

Sec. 138-1014 - Signs

2. Area. The total maximum area for any freestanding sign or signs shall be that area calculated according to subsections (e)(1) and (e)(2) of section 138-1334 or 50 square feet per sign face, whichever is less.

Area. The maximum total area for all attached signs shall be that area calculated according to subsections (e)(1) and (e)(2) of section 138-1334, or 100 square feet, whichever is less.



## BLOCK 105

### LEGEND

- - AIR CONDITIONER
- - BACKFLOW PREVENTER
- - BOLLARD
- - ELECTRIC VAULT
- - LIGHT POLE
- - SPOT LIGHT
- - STORM SEWER MANHOLE
- - VERIZON VAULT
- - WATER METER
- - OVERHEAD WIRES
- - 2.0' CURB & GUTTER
- - 2.0' VALLEY CURB
- - 0.60' UPRIGHT CURB



GRAPHIC SCALE  
1 inch = 10' feet

## 917 11TH STREET PALM HARBOR



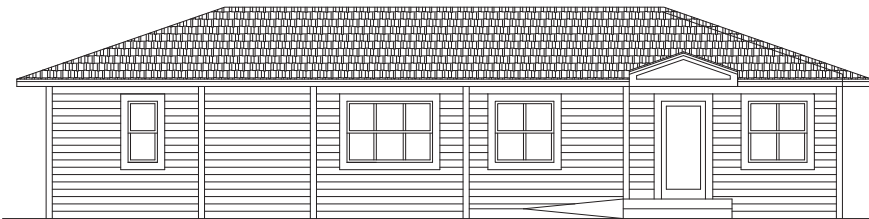
P.O. BOX 342086  
TAMPA, FLORIDA 33604  
PH: 813-987-9874

DATE: 10-26-2015  
JOB NO.:  
DESIGN BY:  
DRAWN BY:  
CHECKED BY:

### FLOOR PLAN

Sheet **A-1**

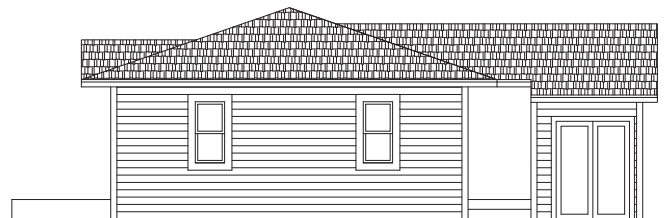




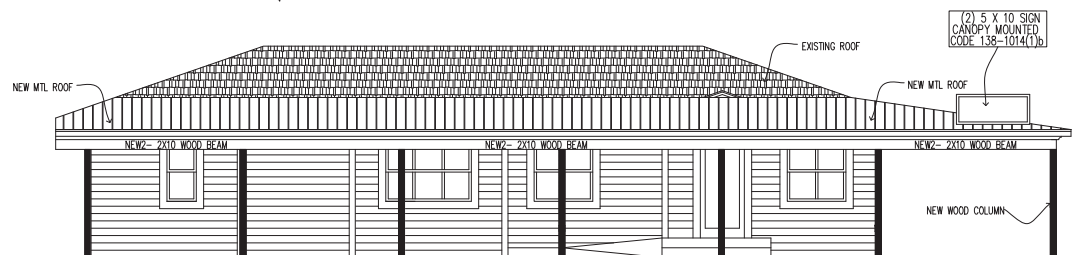
**EXISTING EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



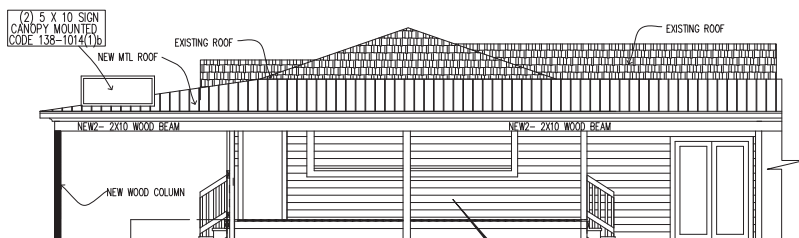
**EXISTING WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



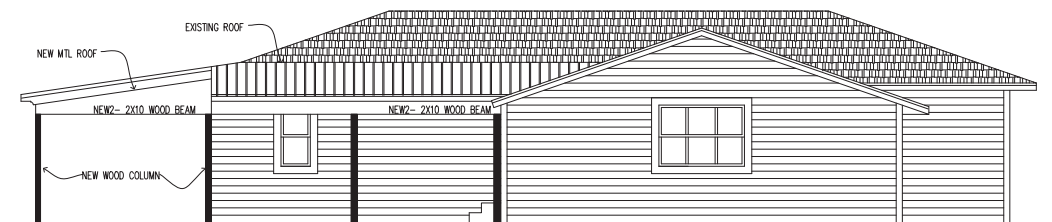
**EXISTING NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



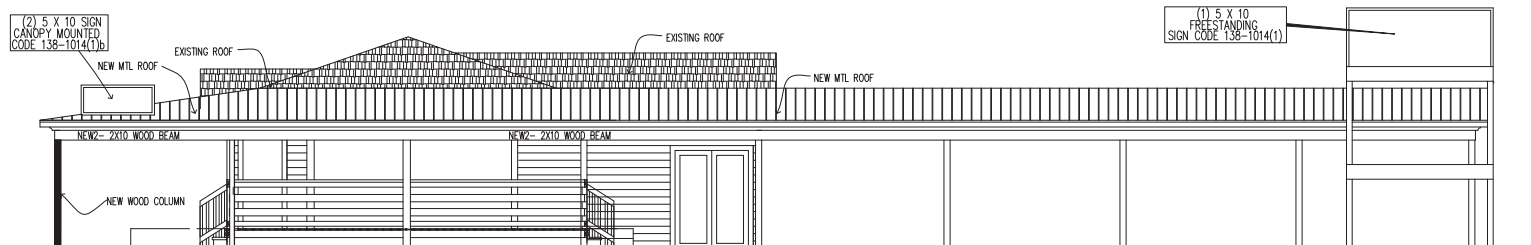
**PROPOSED EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**PROPOSED NORTH ELEVATION  
WITH BAR DOOR CLOSED**  
SCALE: 1/8" = 1'-0"



**PROPOSED WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**PROPOSED NORTH ELEVATION  
WITH BAR DOOR OPENED**  
SCALE: 1/8" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLES WITH 5TH EDITION 2014 F.B.C.

JENAGAMA, P.E. - P241  
1104 - N 65TH STREET, TEMPLE TERRACE  
FLORIDA 33617  
(813) 988-0727 (D & F)

REVISIONS

917 11TH STREET  
PALM HARBOR

P. O. BOX 342068  
TAMPA, FLORIDA 33684  
PH 267-8674

MR DESIGN  
DRAFTING

DATE: 10-26-2015  
JOB NO.:  
DESIGN BY:  
DRAWN BY:  
CHECKED BY:

**ELEVATIONS**

Sheet **A-3**

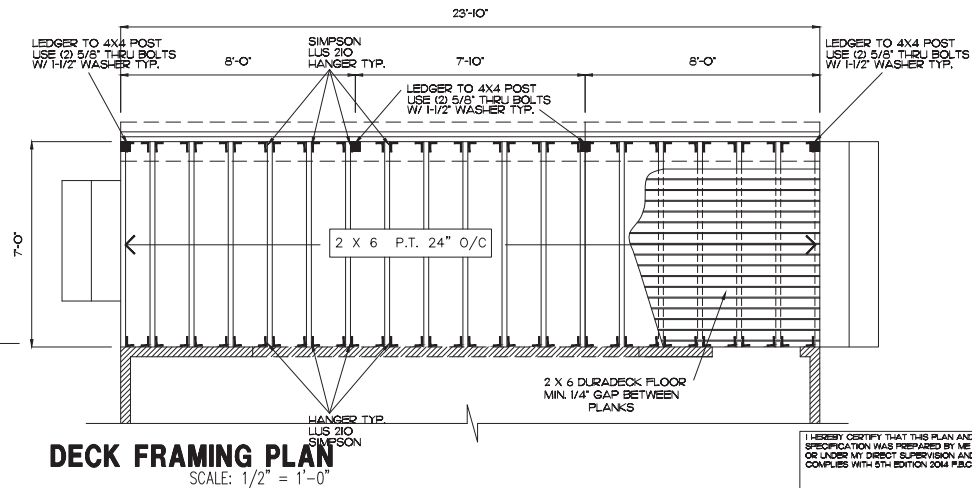
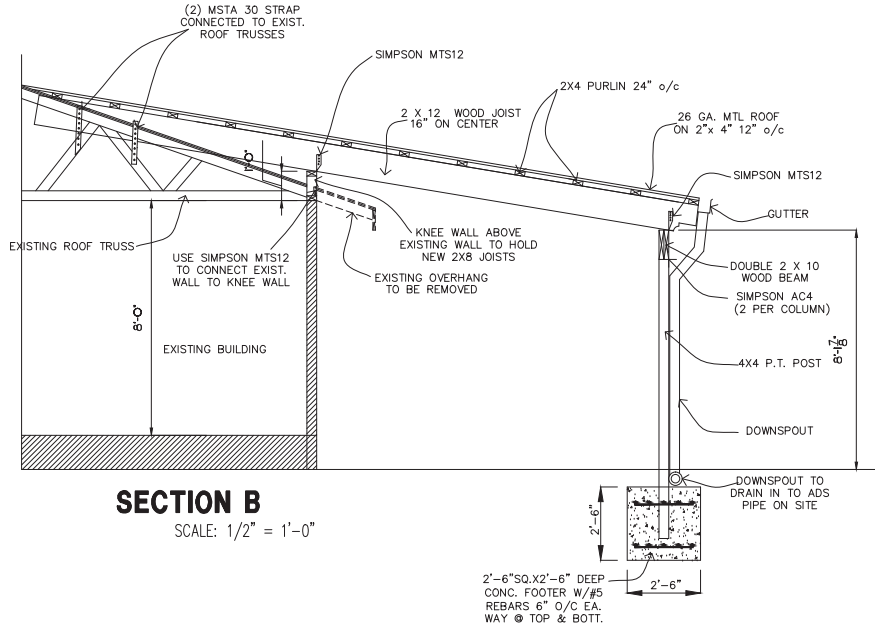
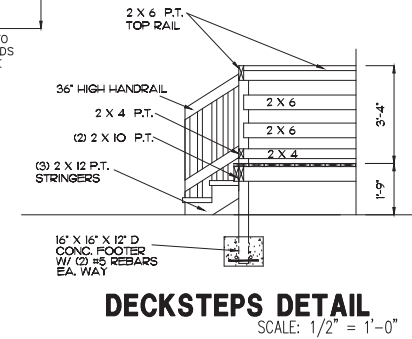
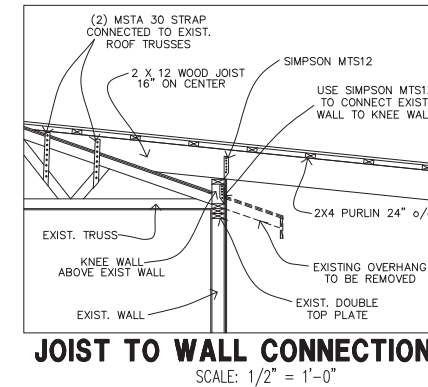
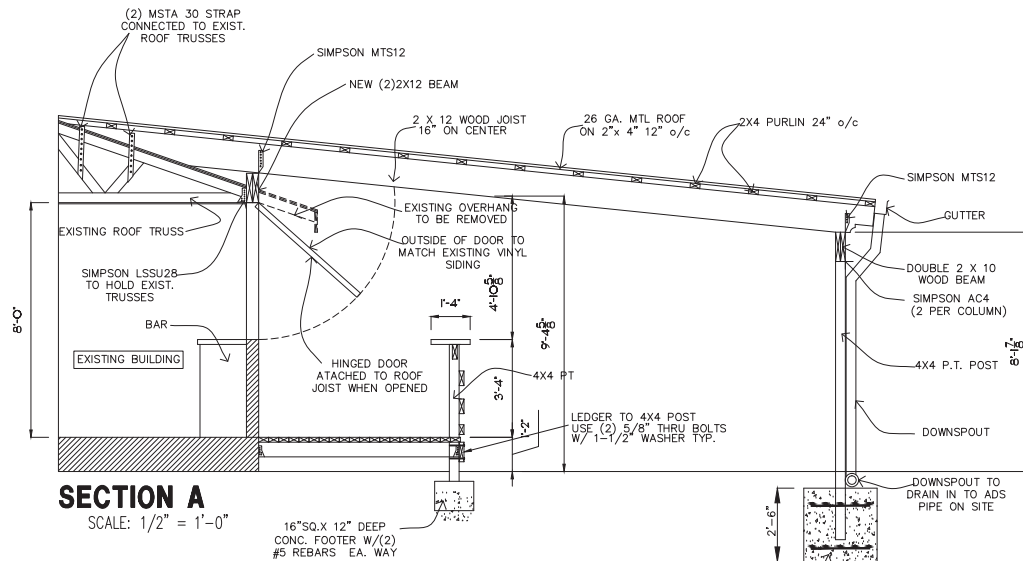
\*Proposed north elevation directly above shows where new window providing bar service to outdoor guests would be located. Photos provided of Palm Pavilion and Hula Bay Club demonstrate the vision of the concept.







Section A below depicts concept of hinged door/window providing bar service to outdoor guests. Siding would be placed on the exterior of the hinged door/window, concealing it when closed.



I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLY WITH 5TH EDITION 2014 F.B.C.

JENAGAMMA, P.E. #241  
1804 - N. 65TH STREET, TEMPLE TERRACE, FLORIDA 33617  
(813) 988-0727 (O & H)

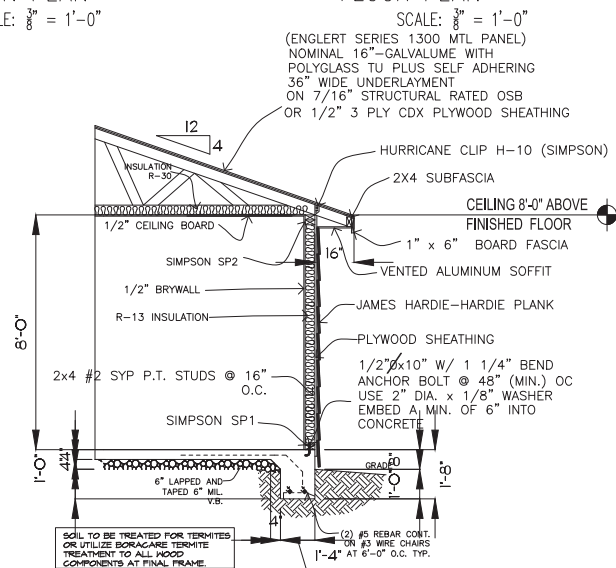
DATE: 10-26-2015  
JOB NO.:  
DESIGN BY:  
DRAWN BY:  
CHECKED BY:  
**SECTION A & B**  
SHEET **A-6**

P. O. BOX 342068  
TAMPA, FLORIDA 33684  
PH 267-9674  
**MR DESIGN DRAFTING**

**917 11TH STREET  
PALM HARBOR**

REVISIONS





TYPICAL ONE STORY SECTION AT HOUSE  
SCALE: 1/2" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH 5TH EDITION 2014 F.B.C.

\_\_\_\_\_  
JENAGAMIA, P.E. 19241

1104 - N. 61ST STREET, TEMPLE TERRACE  
FLORIDA 33617  
(813) 988-0727 (O & F)

DATE:	11-26-2015
JOB NO:	
DESIGN BY:	
DRAWN BY:	
CHECKED BY:	
<b>H.C. RESTROOM DETAILS</b>	
SHEET	<b>A 61</b>

**SHEET**  
**A-6.1**

**P. O. BOX 342088  
TAMPA, FLORIDA 33684  
PH: 267-9874**

917 11TH STREET  
PALM HARBOR



NOTE: BRIGGS OR EQUAL

DATE: 12-10-2015
JOB NO:
DESIGN BY:
DRAWN BY:
CHECKED BY:
<b>PLUMBING PLAN</b>
SHEET <b>P-1</b>

REVISIONS:

**917 11TH STREET  
PALM HARBOR**

**P. O. BOX 342088  
TAMPA, FLORIDA 33684  
PH: 267-9674**

**MR DESIGN  
DRAFTING**

# STRUCTURAL NOTES

## 1 CODES:

1.1 FLORIDA BUILDING CODE- 5TH EDITION (2014).  
1.2 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318 - 99).

1.5 'DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES' BY THE TRUSS PLATE INSTITUTE (TP) LATEST EDITION.

## 2 DESIGN CRITERIA:

2.1 DWELLING FLOORS - 40 PSF LIVE LOAD + 15 PSF DEAD LOAD.  
2.2 BALCONIES - 40 PSF LIVE LOAD + 15 PSF DEAD LOAD.  
2.3 ROOF OVER LIVING AREAS - 30 PSF LIVE LOAD, 17 PSF (7 PSF T/C 3/0 PSF B/C) DEAD LOAD FOR SHINGLE ROOFS, 25 PSF (15 PSF T/C 3/0 PSF B/C) DEAD LOAD FOR CONCRETE TILE ROOFS.  
2.4 WIND - ISO MPH, 3 SECOND GUST, EXPOSURE 'B', IMPORTANCE FACTOR 1.0  
2.5 NET UPLIFT DEAD LOADS 10 PSF SHINGLE, 15 PSF TILE.

## 6. WOOD

### 6.1 WOOD STRUCTURAL FRAMING MEMBERS:

WALL STUDS. - SPF STUD OR CONSTRUCTION GRADE  
TOP & BOTTOM PLATE - SPF STD & BTC  
BOTTOM PLATE IN CONTACT WITH MASONRY - # 3 SYP PT  
1 JOIST SQUASH BLOCK L. - SPF STUD OR CONSTRUCTION GRADE  
TRUSS BRACING & BLOCKING - SPF STUD OR CONSTRUCTION GRADE  
FLOORING & B.L.C. STRIP. - # 3 SYP PT

UNLESS NOTED OTHERWISE ABOVE) # 2 SOUTHERN YELLOW PINE WITH AN ALLOWABLE BENDING STRESS (F<sub>B</sub>) PER NDS - 91 • 1250 PSI AND A MODULUS OF ELASTICITY • 1,600,000 PSI

6.2 DESIGN, FABRICATE AND ERECT WOOD TRUSSES IN ACCORDANCE WITH THE 'DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES' BY THE TRUSS PLATE INSTITUTE, LATEST EDITION, HIS - LATEST EDITION AND QST - LATEST EDITION.

6.3 ALL EXPOSED WOOD OR WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED.

6.4 ROOF SHEATHING: (APA RATED EXPOSURE D) 1/2" PLYWOOD OR 7/16" OSB MINIMUM SHINGLES OR TILE.

6.5 UNTREATED WOOD SHALL NOT BE IN DIRECT CONTACT WITH CONCRETE OR MASONRY. SEAT PLATES SHALL BE PROVIDED AT BEARING LOCATIONS WITHOUT WOODEN TOP PLATES.

6.6 5/8" X 7" EXPANSION BOLT OR 1/2" X 8" A.B. BOLT MAY BE USED INTERCHANGEABLY.

6.7 FOR RETROFIT STRAPS WITH MASONRY SCREWS USE (1) - 3/16" T X 1 1/4" LONG MASONRY SCREW FOR EVERY (2) -10D NAILS.

6.8 SIMPSON PAST EMBEDDED STRAPS MAY BE REPLACED USING SIMPSON MST48 STRAPS WITH 20 - 12D NAILS THRU SHEATHING INTO STUDS ABOVE & (10) - 3 1/8" T X 1 1/4" LONG MASONRY SCREWS.

6.9 8D NAILS ARE RECOMMENDED FOR ALL SHEATHING NAILING. IF .099 DIA NAILS ARE USED ALL NAILING PATTERNS SHALL BE MODIFIED TO THE FOLLOWING SCHEDULE:

### WALLS

A. NAIL AT BASE 15" O.C. W/6D BOX NAIL.  
B. NAIL AT TOP PLATE 15" O.C. W/6D BOX NAIL.  
C. NAIL OPENING PERIMETER • 15" O.C. W/6D BOX NAIL.  
D. NAIL INT. AT 3" O.C. W/6D BOX NAIL.  
E. STAGGER ALL VERT. JOINTS & NAIL • 2" O.C. W/6D BOX NAIL.  
F. NO SPLICE • HEADER - NAIL SHEATHING TO HEADER W/6D BOX NAIL • 2" O.C.  
ROOF

### FOUNDATION NOTES

#### 3. SOIL:

3.1 MINIMUM ALLOWABLE SOIL PRESSURE 2000 PSF.

#### 4. CONCRETE:

4.1 CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS: 2500 PSI (NORMAL WEIGHT).

4.2 REINFORCING BARS: ASTM A615 (GRADE 40).

4.3 WELDED WIRE FABRIC (WWF): ASTM A185.

4.4 DETAIL REINFORCEMENT IN ACCORDANCE WITH ACI 315.

4.5 CONCRETE COVERAGE OF REINFORCEMENT: FOOTINGS 3" BOTTOM AND SIDES.

4.6 EARTH SUPPORTED SLABS: (INCLUDING EXTERIOR WALK AND DRIVE SLABS 3 1/2" THICK MIN. REINFORCED WITH 6 X 6 - W 1/4 X W 1/4 WWF AT MID - DEPTH OF SLAB. FIBERMESH MAY BE USED IN LIEU OF WWF AT CONTRACTORS OPTION.

4.7 CONCRETING OPERATIONS SHALL COMPLY WITH ACI STANDARDS.

4.8 LAP SPLICE SHALL BE AS FOLLOWS: #5 BAR 25", #4 BAR 20", #3 BAR 15".

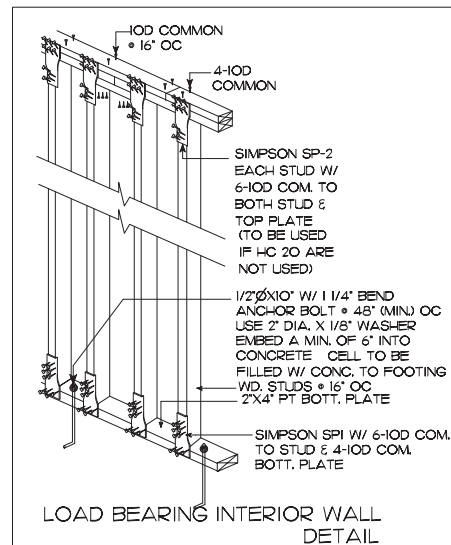
4.9 SOIL TO BE TREATED FOR TERMITES PER FBC 5TH EDITION (2014)

SECTIONS: 104.2.6, 104.2.7, 1403.1.6, 1503.4.4, 1816.2303.1.3, 2303.1.4 & 2304.

# FRAMING NOTES NAILING SCHEDULE

## CARPENTRY:

1. DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
2. ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
3. LUMBER GRADES OR BETTER, WITH SINGLE MEMBER (UNFACTORED) STRESSES AS FOLLOWS:  
F<sub>v</sub> = 90 PSI  
F<sub>c</sub> = 1,450 PSI  
E = 1,600,000 PSI  
19% MAXIMUM MOISTURE CONTENT
8. ALL FRAMING LUMBER SHALL BE #2 SPRUCE-PINE-FIR OR BETTER U.N.O.
9. INTERIOR LOAD BEARING (IF APPLICABLE) WALLS SPACED AT 16" OC AND LESS THAN 8'-0" IN HEIGHT SHALL BE STUD GRADE, SPRUCE-PINE-FIR OR BETTER.
10. INTERIOR NON-LOAD BEARING WALLS SHALL BE UTILITY GRADE OR BETTER. STUDS SHALL BE AT 24" O.C. WITH P.T. BOTTOM PLATE.
4. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
5. PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. 11-W-571 AND BEAR THE AMERICAN WOOD PRESERVES INSTITUTE EQUALITY MARK LP-2.
6. PLYWOOD FOR ROOF AND WALLS SHALL BE 7/16" (MIN.) APA RATED SHEATHING EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS (MAXIMUM 24" O/C). (SEE PLANS FOR SHEATHING THICKNESSES.)
7. ROOF SHEATHING SHALL BE NAILED WITH 8d COMMONS @ 4" OC AT EDGE AND 12" OC INTERMEDIATE.
8. WALL SHEETING SHALL BE NAILED WITH 8d COMMONS @ 4" OC AT EDGE AND 12" OC INTERMEDIATE. HARDBOARD LAP SIDING OVER SHEETING NAILED SHALL BE 10d GALV. WITH MIN. HEAD DIA. OF 0.240 INCH STAGGARD @ 16" OC TOP & BOT.
9. INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-0" @ MID-HEIGHT, AND SHEATHING JOINT. BRACE GABLE END WALLS AT 4'-0" OC WHERE WALL FRAMING IS NOT CONTINUOUS FORM FOUNDATION TO ROOF, OR AS SHOWN ON DRAWINGS.
10. ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
11. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., HUGHES MANUFACTURING, OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO ENGINEER FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.



# TERMITE PROTECTION

## SECTION R318 PROTECTION AGAINST TERMITES

### R318.1 Termite Protection.

Termite protection shall be provided by registered termiticides, including soil applied pesticides, baiting systems, and pesticides applied to wood, or other approved methods of termite protection labeled for use as a preventative treatment to new construction. See Section 202, REGISTERED TERMITICIDE. Upon completion of the application of the termite protective treatment, a Certificate of Compliance shall be issued to the building department by the licensed pest control company that contains the following statement: "The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services."

#### R318.1.1

If soil treatment is used for subterranean termite prevention, the initial chemical soil treatment inside the foundation perimeter shall be done after all excavation, backfilling and compaction is complete.

#### R318.1.2

If soil treatment is used for subterranean termite prevention, soil area disturbed after initial chemical soil treatment shall be retreated with a chemical soil treatment, including spaces boxed or formed.

#### R318.1.3

If soil treatment is used for subterranean termite prevention, space in concrete floors boxed out or formed for the subsequent installation of plumbing traps, drains or any other purpose shall be created by using plastic or metal permanently placed forms of sufficient depth to eliminate any planned soil disturbance after initial chemical soil treatment.

#### R318.1.4

If soil treatment is used for subterranean termite prevention, chemically treated soil shall be protected with a minimum 6 mil vapor retarder to protect against rainfall dilution. If rainfall occurs before vapor retarder placement, retreatment is required. Any work, including placement of reinforcing steel, done after chemical treatment until the concrete floor is poured, shall be done in such manner as to avoid penetrating or disturbing treated soil.

#### R318.1.5

If soil treatment is used for subterranean termite prevention, concrete overpour or mortar accumulated along the exterior foundation perimeter shall be removed prior to exterior chemical soil treatment to enhance vertical penetration of the chemicals.

#### R318.1.6

If soil treatment is used for subterranean termite prevention, chemical soil treatments shall also be applied under all exterior concrete or grade within 1 foot (305 mm) of the primary structure sidewalls. Also, a vertical chemical barrier shall be applied promptly after construction is completed, including initial landscaping and irrigation/sprinkler installation. Any soil disturbed after the chemical vertical barrier is applied shall be promptly retreated.

#### R318.1.7

If a registered termiticide formulated and registered as a bait system is used for subterranean termite prevention, Section R318.1.1 through R318.1.6 do not apply; however, a signed contract assuring the installation, maintenance and monitoring of the baiting system that is in compliance with the requirements of Chapter 482, Florida Statutes, shall be provided to the building official prior to the pouring of the slab, and the system must be installed prior to final building approval.

If the baiting system directions for use require a monitoring phase prior to installation of the pesticide active ingredient, the installation of the monitoring phase components shall be deemed to constitute installation of the system.

#### R318.1.8

If a registered termiticide formulated and registered as a wood treatment is used for subterranean termite prevention, Sections R318.1.1 through R318.1.6 do not apply. Application of the wood treatment termiticide shall be as required by label directions for use, and must be completed prior to final building approval.

#### R318.2 Penetration.

Protective sleeves around piping penetrating concrete slab-on-grade floors shall not be of cellulose-containing materials. If soil treatment is used for subterranean termite protection, the sleeve shall have a maximum wall thickness of 0.010 inch (0.25 mm), and be sealed within the slab using a noncorrosive clamping device to eliminate the annular space between the pipe and the sleeve. No termiticides shall be applied inside the sleeve.

#### R318.3 Cleaning.

Cells and cavities in masonry units and air gaps between brick, stone or masonry veneers and the structure shall be cleaned of all nonpreservative-treated or non-naturally durable wood, or other cellulose-containing material prior to concrete placement.

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND COMPLIES WITH 5TH EDITION 2014 FBC.

JSNAGAMIA, PE-1924

1104 - N 61ST STREET, TEMPLE TERRACE  
FLORIDA, 33617  
(813) 988-0727 10 & 11

DATE: 10-26-2015

JOB NO:

DESIGN BY:

DRAWN BY:

CHECKED BY:

DETAILS

NOTES

SHEET

A-7

917 11TH STREET  
PALM HARBOR

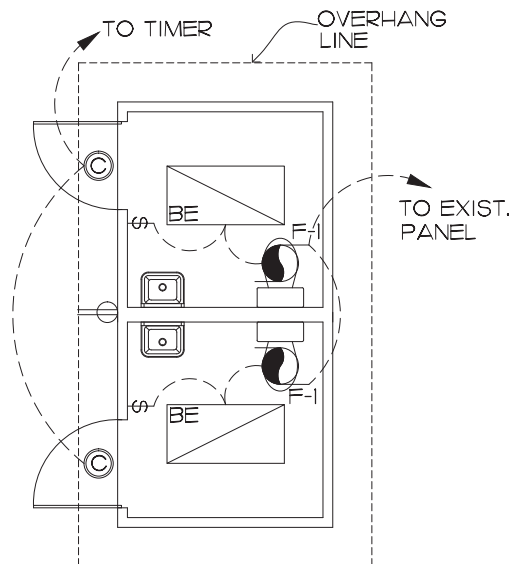
P. O. BOX 342069  
TAMPA, FLORIDA 33684  
PH 267-8674  
MR DESIGN  
DRAFTING

FAN SCHEDULE	
MARK	F-1
CFM	100
EXTERNAL S.P.	0.20"
DRIVE TYPE	DIRECT
MOTOR H.P.	0.62 AMPS
R.P.M.	1100
ELECTRICAL	120/1/60
BASIS OF DESIGN (3)	GREENHECK
MODEL	SP-110
ACCESSORIES	DS, BD, CG, WC
NOTES	(1X2)

- (1) INTERLOCK WITH LIGHT SWITCH.  
 (2) CEILING MOUNTED UNIT.  
 (3) OR APPROVED EQUAL.  
 (4) PROVIDE A THERMOSTAT FOR CONTROL.

ACCESSORIES:

DS - DISCONNECT SWITCH  
 BD - BACKDRAFT DAMPER  
 CG - CEILING GRILLE  
 RC - ROOFCAP  
 WC - WALLCAP



ELECTRICAL PLAN  
 SCALE: 1/2" = 1'-0"

FIXTURE SCHEDULE			
TYPE	DESCRIPTION	LAMP	REMARKS
BE	2X4 LAY-IN W/PARABOLIC LTG.	3T8	W/(2) ELECTRONIC BALLAST AND (1) W/ BATT BACK-UP SURFACE MOUNT
C	RECESSED CAN	100 WATT	MOUNT AS REQ'D

REVISIONS

917 11TH STREET  
 PALM HARBOR

P. O. BOX 342068  
 TAMPA, FLORIDA 33684  
 PH 267-9874

MR DESIGN  
 DRAFTING

DATE: 12-15-2015

JOB NO:

DESIGN BY:

DRAWN BY:

CHECKED BY:

ELECTRICAL

SHEET

E-1



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 1: Historic Photo**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 2: Historic Photo**

**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 3: Historic Photo**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 4: Current Front (East) Elevation; proposed porch addition/awning would run along entire east and north elevations.**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 5: North Elevation (Abutting Georgia Avenue)**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 6: Rear (West) Elevation**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 7: South Elevation**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 8: Aerial View**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 9: View Looking NW**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)  
Historic and Current Site Photos**



**Figure 10: View Looking SW**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)**  
**Awning and Bar Example Photos**



**Figure 1: Awning example; Palm Pavilion, Clearwater Beach**

**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)**

**Awning and Bar Example Photos**



**Figure 2: Awning example; Palm Pavilion, Clearwater Beach**



**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)**

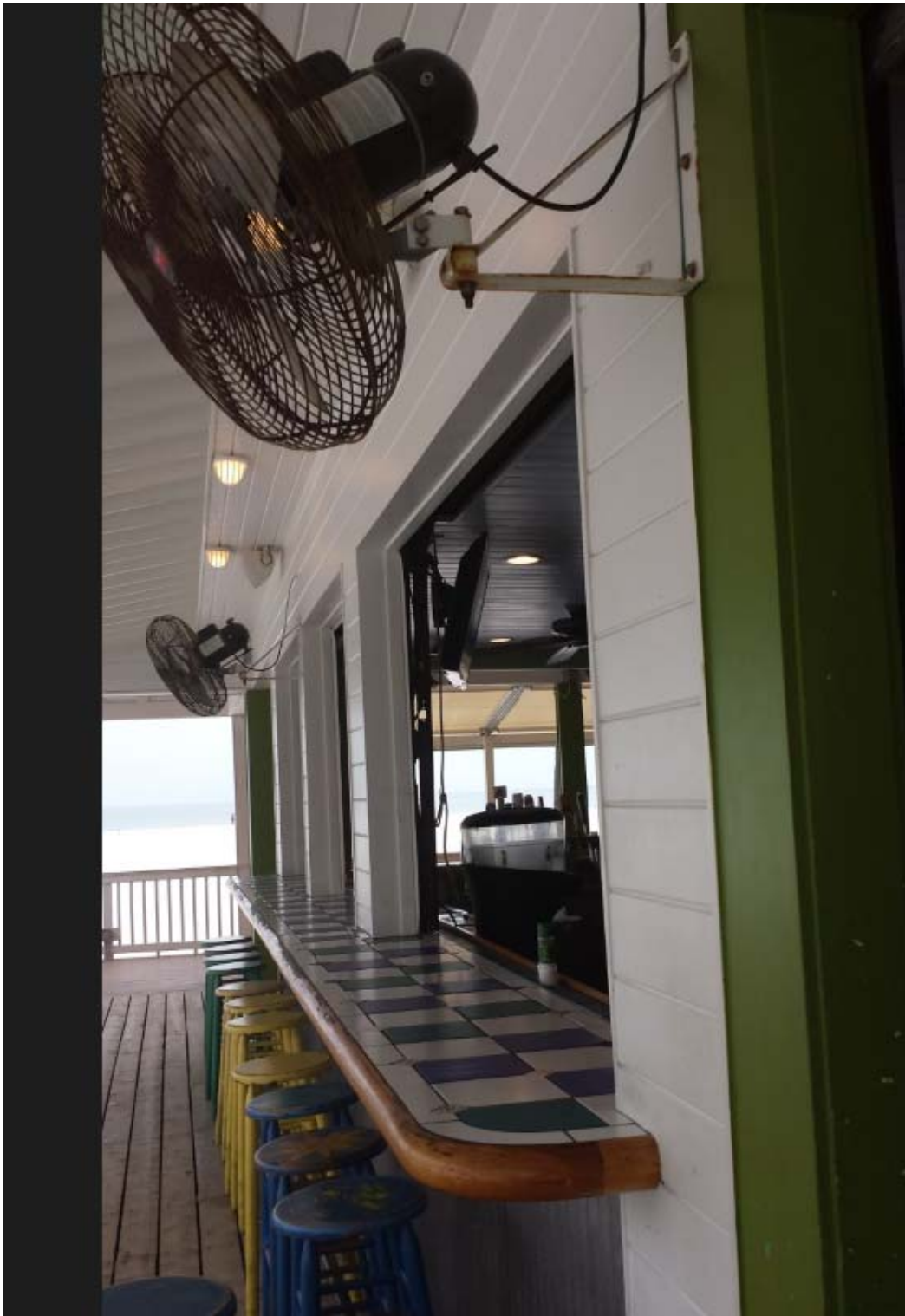
**Awning and Bar Example Photos**



**Figure 3: Outdoor bar example; Palm Pavilion, Clearwater Beach**

**COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)**

**Awning and Bar Example Photos**



**Figure 4: Outdoor bar example; Palm Pavilion, Clearwater Beach**



COA 2016-1: 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)

Awning and Bar Example Photos



Figure 5: Hinged bar window/door example; Hula Bay Club, Tampa

**917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)**

**Awning and Bar Example Photos**



**Figure 6: Hinged Bar Window/Door When Closed, Hula Bay Club, Tampa**



## 917 11<sup>th</sup> Street Palm Harbor (Formerly Lulu's Beach House Cafe)

### Awning and Bar Example Photos



Figure 7: Private residence awning example, 875 12<sup>th</sup> Street, Old Palm Harbor



DEAR PROPERTY OWNER:

**THIS NOTICE IS ABOUT A PUBLIC MEETING ON JANUARY 20, 2016 REGARDING THE PROPERTY IDENTIFIED BELOW.** It is being provided to you since you are either the owner or representative of the owner of the subject property, OR you own land in the vicinity of the subject property.

**Re: Case Number 2016-1**

**Applicant: Mackenally Investments, LLC**

**SUBJECT PROPERTY: 917 11<sup>TH</sup> STREET, PALM HARBOR, FL 34683**

**THE PURPOSE OF THIS MEETING** is to consider the applicant's request for a certificate of appropriateness for a proposed porch addition and restroom addition. The Historic Preservation Board will review the application for compliance with the County's adopted historic preservation and design provisions for non-contributing structures in the zoning district.

**The public meeting will be held by the Pinellas County Historic Preservation Board at  
9:00 a.m., January 20, 2016  
Pinellas County Planning Department Conference Room  
310 Court Street, Clearwater, 33756**

If you have any questions regarding the applicant's proposal, please call our office at **(727) 464-8200** or visit us at the address listed above.

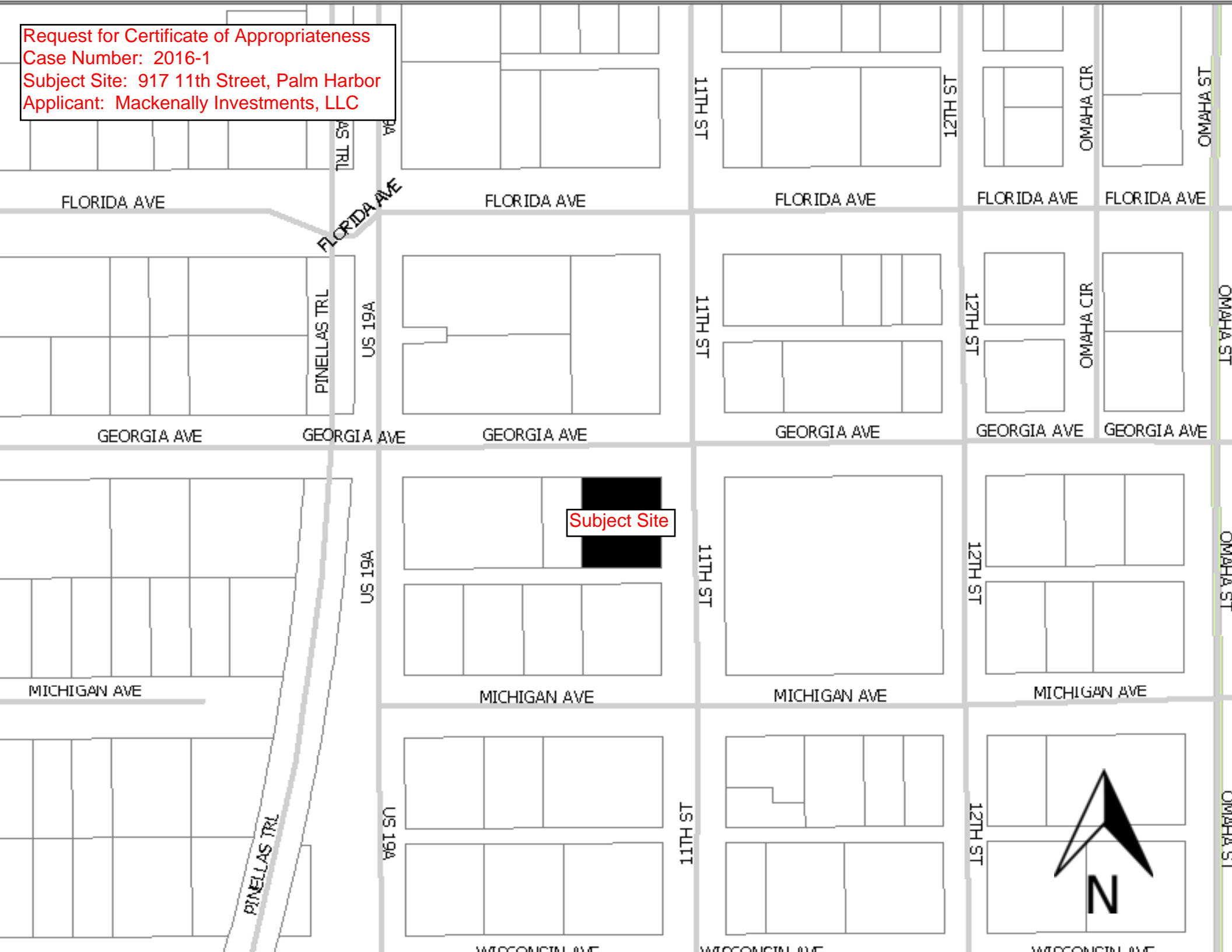
The certificate of appropriateness application can be viewed online at:

<http://www.pinellascounty.org/historic>.

Persons are advised that if they decide to appeal any decision made at this meeting/hearing, they will need a record of the proceedings and for such purpose they may need to ensure that a verbatim record of the proceedings is made.

IF YOU ARE A PERSON WITH A DISABILITY WHO NEEDS AN ACCOMMODATION IN ORDER TO PARTICIPATE IN THIS PROCEEDING, YOU ARE ENTITLED, AT NO COST TO YOU, TO THE PROVISION OF CERTAIN ASSISTANCE WITHIN TWO (2) WORKING DAYS OF YOUR RECEIPT OF THIS NOTICE, PLEASE CONTACT THE OFFICE OF HUMAN RIGHTS, 400 S. FT HARRISON AVE., SUITE 500, CLEARWATER, FL 33756 (727) 464-4880 (VOICE) (727) 464-4062 (TDD).

Request for Certificate of Appropriateness  
Case Number: 2016-1  
Subject Site: 917 11th Street, Palm Harbor  
Applicant: Mackenally Investments, LLC



**Historic Preservation Board Agenda Item III.B.**

**Public Hearing conducted by the Historic Preservation Board (HPB) to Review Request for Certificate of Appropriateness (COA)**

**Case Number:** COA 2016-2

**Applicant:** Geographic Solutions, Inc.

**Subject Property:** 905 11<sup>th</sup> Street, Palm Harbor, FL 34683

Consistent with the responsibilities of the HPB outlined in chapter 146 of the Pinellas County Land Development Code, a public hearing will be conducted by the HPB to review a COA application concerning construction of a storage structure. This case involves a non-contributing structure within the Old Palm Harbor Zoning District.

**Attachment(s):** Copy of staff report, COA application, associated photos, public notice and site map.

**Action Required:** Conduct a public hearing on the application and take final action on the proposed COA.



# Certificate of Appropriateness Application Report

Case Number 2016-2

Pinellas County Historic Preservation Board ► 1/20/2016

**Applicant:** Geographic Solutions, Inc.

**Subject Property:** 905 11<sup>th</sup> Street, Palm Harbor, FL 34683

**Project Description:** The applicant proposes to demolish a smaller, one-story storage facility in the northwest corner of the property and build a larger one in its place. The new, two-story structure would have a footprint of 40' (D) x 33' (W) x 22' (H). The front elevation would feature a wooden front door and two metal roll-up garage doors (one 8' x 7' and the other 10' x 12'). The new storage structure would feature a Gable metal roof, Dutch lap siding and a wooden front door to match the larger building on the site currently being used for office space.

**Staff Recommendation:** Approval

**Historic Preservation Board Action:**

# Certificate of Appropriateness Application Report

## Case Number 2016-2

**STAFF REVIEW:** The main existing building, located at 905 11<sup>th</sup> St and currently used as office space for Geographic Solutions, Inc., is in the Old Palm Harbor Downtown Zoning District (OPH-D). While located in OPH-D, the structure is not in the Downtown Palm Harbor Historic District; however, per section 138-1006 of the Pinellas County Land Development Code, “all new development, alteration, demolition, relocation, reconstruction, and excavation within the OPH-D district shall be subject to the requirements and procedures of section 146-7 for certificates of appropriateness.” As such, the alterations to this site must be consistent with the design criteria contained in chapter 146 pertaining to the Downtown Palm Harbor Historic District.

The applicant proposes to demolish a smaller, one-story storage facility in the northwest corner of the property and build a larger one in its place. The new, two-story structure would have a footprint of 40’ (D) x 33’ (W) x 22’ (H). The front elevation would feature a wooden front door and two metal roll-up garage doors (one 8’ x 7’ and the other 10’ x 12’). The new storage structure would feature Dutch lap siding and a Gable metal roof, both of which are consistent with the larger existing building on the site that is currently being used for office space.

The tables on the following pages detail the general criteria for evaluating certificates of appropriateness and the design criteria for the Palm Harbor zoning and historic districts as they relate to the alterations proposed at 905 11<sup>th</sup> Street.

**STAFF RECOMMENDATION:** Planning Department staff feels that the proposed new construction is generally in conformance with the design criteria for non-contributing structures within the Downtown Palm Harbor Historic District. Additionally, Geographic Solutions, Inc. maintains its headquarters in the Downtown Palm Harbor Historic District, and with over 200 employees, it is a major economic anchor to the area. Enabling the company to build this storage structure would further cement their presence in the District and the economic stability of the community as a whole. Therefore, staff recommends the Certificate of Appropriateness be approved.

**ATTACHMENTS:** Certificate of Appropriateness application, location map, construction documents and associated site photographs.

## Sec. 146-7(6): General Criteria for Evaluating Certificates of Appropriateness

Criteria	Criteria Met?	Comment
a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.	✓	Property's prior use will be maintained.
b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.	✓	No historic materials will be removed.
c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.	✓	No false architectural details will be introduced.
d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.	N/A	
e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.	✓	No distinctive features will be altered.
f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.	✓	No deteriorated historic features will be removed.
g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.	✓	No chemical or physical treatments will be used.
h. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.	✓	New construction will not destroy any historic materials and will be compatible with the existing building on the site.
i. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.	✓	If storage facility is removed in the future, the essential form and integrity of the property will be unimpaired.
j. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.	N/A	Not applicable.

## Sec. 146-7(7): Design Criteria for Downtown Palm Harbor Historic District

	Criteria	Criteria Met?	Comment
a.(1.)	The scale (height/width ratio) of new construction, or of alterations/additions to existing structures, shall be similar to that of the contributing structures in the District.	✓	The scale of the new storage structure will be consistent with contributing structures in the District.
a.(2.)	New buildings or alterations/additions to existing structures shall not be built higher than the existing buildings in the District as of the time of designation. The height of new construction, or of alterations/additions to existing structures, shall not exceed 30 feet in height when measured at the eave of the structure.	✓	The height of the proposed storage structure will be 22'.
a.(3.)	The historical setback patterns and street-facing orientation shall be maintained for new and reconstructed buildings. New buildings shall be built flush with the public right-of-way except in cases where the presence of mature trees requires that the building be located back from the street. The orientation of new buildings, and of alterations/additions to existing buildings, shall maintain front-facing facades with the main entrance on the street side of the building.	✓	Front-facing facade and main entrance will remain as is.
a.(4.)	The size, slope, and type of roofs for new construction, or for alterations/additions to contributing structures, shall be similar to those of the contributing structures.	✓	The proposal includes a metal Gable roof with a slope of 3:12, which is consistent with contributing structures in the District.
a.(5.)	Shutters shall be in character with the style and period of the building. Replacement shutters shall be similar to the original in size, configuration, and style, and shall fit the window openings, not to overlap on the surface of the wall.	N/A	No shutters proposed.
a.(6.)	Porch additions shall have a roof type that is either similar to the existing roof or that is in character with the style and period of the building.	N/A	No porch addition proposed.
a.(7.)(a)(1)	Fences and walls on all street frontages shall be constructed only of decorative open pickets, decorative metal, brick, or stamped concrete which are compatible with the streetscape design materials.	N/A	No fence proposed.
a.(7.)(a)(2)	No fence or wall shall be constructed of corrugated sheet metal, barbed wire, chicken wire, or similar materials.	N/A	No fence proposed.
a.(7.)(a)(3)	Chain link fences concealed by landscaping may be allowed along the side of property that has no street or alley frontage.	N/A	No fence proposed.

## Sec. 146-7(7): Design Criteria for Downtown Palm Harbor Historic District

Criteria		Criteria Met?	Comment
a.(7.)(b)	On all street frontages (except for frontage on an alley), walls and fences shall not exceed three feet in height, except in those instances where a higher fence is required by section 138-1286 for screening dumpsters.	N/A	No fence proposed.
a.(7.)(c)	No fence or wall shall be constructed within a public right-of-way, right-of-way easement or utility easement, unless authorized by the County.	N/A	No fence proposed.
a.(7.)(d)	No fence or wall shall enclose a water meter box or manhole, unless authorized by the County.	N/A	No fence proposed.
a.(7.)(e)	Where not specifically changed in this section, fences and walls shall otherwise comply with section 138-1336.	N/A	No fence proposed.
a.(8.)	Historically, building, trim, and roof colors have not been a major defining component of the District. Choice of colors should complement and enhance the character of the District. For new construction and noncontributing structures, specific color choice is left to the discretion of the property owner. For contributing structures, the general criteria for evaluating certificate of appropriateness shall be followed.	✓	Color scheme will match the existing office building.
a.(9.)	On-street or alley parking should be maintained. Historical parking patterns should be followed in site-plan requirements for new construction.	✓	On-street parking will remain intact.
<b>b.</b>	<b>Contributing Structures</b>		
b.(1.)	If windows and doors in contributing structures are determined to be un-repairable, they shall be replaced with new windows and/or doors matching the size, spacing, and where possible, materials of the originals. The use of materials other than the original materials shall be considered by the historic preservation board or county staff on a case-by-case basis.	N/A	Not a contributing structure.
b.(2.)	Porches and porch features that are in good condition or repairable, and which are in character with the style and period of the building, shall be retained. Porches and porch features shall be repaired so they match the existing in materials, size and configuration.	N/A	Not a contributing structure.



## Sec. 146-7(7): Design Criteria for Downtown Palm Harbor Historic District

Criteria		Criteria Met?	Comment
<b>c.</b>	<b>Non-Contributing Structures</b>		
c.(1.)	Where possible and appropriate, alterations and additions to noncontributing structures shall be similar to the major features, details and materials found in the contributing structures. Alterations and additions shall not introduce false historical architectural features not found in the District.	✓	No false architectural details will be introduced.
c.(2.)	Where possible and appropriate, when renovating an existing noncontributing structure, new or replacement windows and/or doors shall be similar to the size, spacing, materials and general rhythm of the windows and/or doors found in the contributing structures.	✓	Front door will be wood and similar to those found in contributing structures in the district. No windows are proposed.
<b>d.</b>	<b>New Construction</b>		
d.(1.)	The roof types of new buildings shall conform to the roof types of the contributing structures in the District. Gable, pyramidal (hip), and flat roofs with parapets are found in the contributing structures. Use of a roof type that is not present in the contributing structures, and which can be seen from the street is prohibited. Alternative roof styles can be used if they are concealed by a parapet and are not visible from the street.	✓	The proposal includes a metal Gable roof with a slope of 3:12, which is consistent with contributing structures in the District.
d.(2.)	Proportions, configurations, and placement of windows and/or doors in new buildings shall be similar to the size, spacing, materials and general rhythm of the window/door fenestration found in the contributing structures.	✓	Front door will be wood and similar to those found in contributing structures in the district.
d.(3.)	Use of double-hung sash windows with two—four lites is encouraged. Jalousie windows are prohibited. Recessed entrances are encouraged.	✓	No windows are proposed.
d.(4.)	Major architectural features, detailing and materials used in new construction shall be similar to those of the contributing structures found in the District.	✓	Major features, detailing and materials will be similar to contributing structures found in the District.
d.(5.)	Modern equipment such as solar collectors, air conditioners, etc. shall be concealed from public view.	✓	Air conditioner will not be visible from the street.

# Pinellas County Certificate of Appropriateness Application

## For Staff Use Only

COA # \_\_\_\_\_

HPB/Staff Decision: \_\_\_\_\_

Date: \_\_\_\_\_

Staff Signature: \_\_\_\_\_



**Instructions:** Your application cannot be evaluated unless it is complete and all required supporting materials are *provided*. Type or print clearly in black ink. If additional space is needed, attach additional sheets. The Certificate of Appropriateness is valid for a period of 60 days after the date of its approval. After the expiration date, a six-month extension may be requested to complete the work in progress if the owner can show cause why the work has not been completed. Otherwise the owner must reapply.

### A. GENERAL INFORMATION (To be completed by all applicants).

#### 1. Property Identification and location:

Name of Property/Business: Geographic Solutions, Inc.

Property Identification Number (from tax records): 01/28/15/88560/105/2300

Address of Property: 905 11th Street, Palm Harbor, FL 34683

#### 2. Mailing Addresses:

Property Owner: Sutherland Realty Holdings I, LLC

Address: 1001 Omaha Circle

City: Palm Harbor State: FL Zip Code: 34683

Phone Number (H) N/A (W) 727.786.7955

Occupant: Geographic Solutions, Inc.

Address: 1001 Omaha Circle,

City: Palm Harbor State: FL Zip Code: 34683

Phone Number (H) N/A (W) 727.786.7955

Agent/Engineer/Architect: Guy Owen, Director of Finance

Address: Same as above

#### 3. Existing Uses and Building Condition: Replacing existing one story storage facility

#### 4. Type of Request:

#### Proposed Use:

<input type="checkbox"/>	Alteration of an archaeological site	<input type="checkbox"/>	Single-Family residence
<input type="checkbox"/>	Exterior alteration of building/structure	<input type="checkbox"/>	Multi-family residence
<input checked="" type="checkbox"/>	New Construction	<input type="checkbox"/>	Restaurant
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Office
<input type="checkbox"/>	Relocation	<input checked="" type="checkbox"/>	Commercial
<input type="checkbox"/>		<input type="checkbox"/>	Other

7. **Estimated Cost of Work:** \$150,000.00 - \$250,000.00

8. **Written Description of Proposed Work:**

All applications must include two black and white photographs in 3"x5" format, with different views showing the sides of the designated property which will be altered. Also, if required, include photographs of all adjacent properties.

Explain what changes will be made and how they will be accomplished. If required, submit detailed plans and elevation drawings and specifications to support the written description.

<b>Exterior Building Features (Include material samples when necessary)</b>	
<b>Structural Systems:</b>	<b>Roofs and Roofing:</b>
Masonry or wood structure - 2 story Overall footprint is 40' (depth) x 33' (wide) x 22' (high)	Aluminum roof which ties into structure & coordinates with existing building on lot. Green in color
<b>Windows and Doors:</b>	<b>Materials: (masonry, wood, metal):</b>
No planned windows at this time. One entrance door with two large roll-up doors between 8' & 14'	Final materials will be determined at a later date but it will be either masonry or wood.
<b>Porches, Awnings, Steps &amp; Fences:</b>	<b>Painting and Finishes:</b>
None	Gray Dutch Lap Siding that will match existing building on property and is consistent with all other properties owned by Sutherland/Geographic Solutions within the Historic District.
<b>Environmental Features: (Grading, landscaping, parking, subsurface work, etc.)</b>	
Standard minimal grading. Partial stemwall along W/NW corner of new building. Will lose two parking spots in back of existing building; however, parking requirements are still met with addition of new storage building per code.	

5. **Owner Attestation:**

The information on this application represents an accurate description of the proposed work and the undersigned has omitted nothing that might affect the decision of the Pinellas County Historic Preservation Board (HPB) and/or County Staff. The undersigned hereby certifies that the project described in this application, as detailed by plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. It is understood that approval of this application by the HPB and/or County Staff in no way constitutes approval of building permit or other required County permit approvals.

Signature (Owner) \_\_\_\_\_

Date: 1/13/2016

Signature (Agent) \_\_\_\_\_

Date \_\_\_\_\_

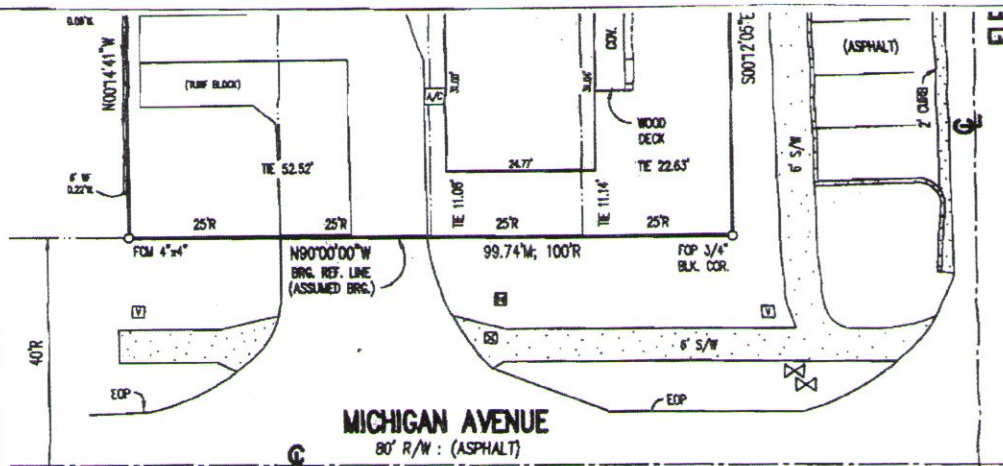
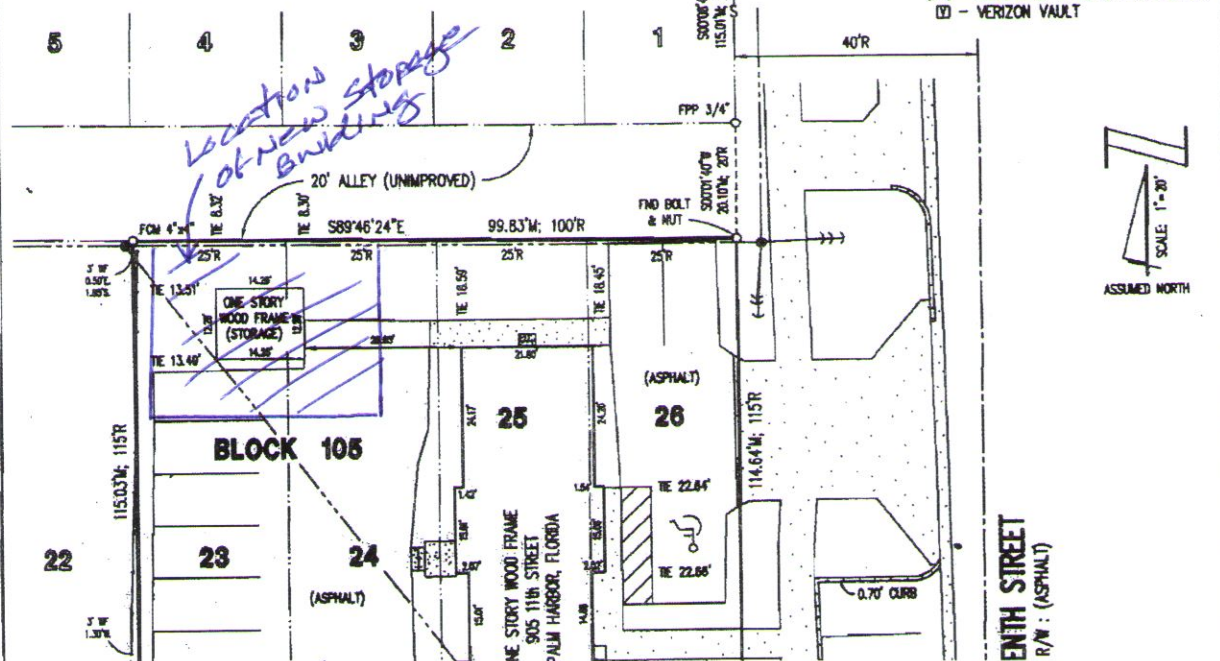


## BOUNDARY SURVEY

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## LEGEND

- - POWER POLE
- GUY WIRE
- OVERHEAD WIRES
- WOOD FENCE
- ⊠ - WATER METER
- ⊠ - RECLAIMED WATER METER
- ⊠ - RECLAIMED WATER DEADMAN'S BOX
- ⊠ - VERIZON VAULT



## LEGAL DESCRIPTION

LOTS 23, 24, 25 AND 26, BLOCK 105, TOWN OF SUTHERLAND, ACCORDING TO THE MAP OR PLAT THEREOF AS FILED FOR RECORD IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT IN AND FOR HILLSBOROUGH COUNTY, FLORIDA, ON MARCH 29, 1888, OF WHICH PINELLAS COUNTY WAS FORMERLY A PART.

## FLOOD ZONE

THE ABOVE DESCRIBED PROPERTY APPEARS TO BE IN ZONE X, IN ACCORDANCE WITH THE FIRM MAP OF PINELLAS COUNTY, COMMUNITY NUMBER 125139 (MAP NUMBER 12103C-0059-G), MAP DATED SEPTEMBER 3, 2003.

PREPARED FOR: SUTHERLAND REALTY HOLDINGS I, LLC

CERTIFICATION: I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE SURVEY SHOWN HEREON SUBSTANTIALLY MEETS THE MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING DESCRIBED IN THE STATE OF FLORIDA RULE 5A-17, F.A.C. FURTHERMORE, THIS CERTIFICATION SHALL NOT EXTEND TO ANY OTHER PERSONS OR PARTIES OTHER THAN THOSE NAMED ON THIS SURVEY AND SHALL NOT BE VALID AND BINDING AGAINST THE UNDERSIGNED SURVEYOR WITHOUT THE ORIGINAL RAISED SEAL AND SIGNATURE OF THE FLORIDA LICENSED SURVEYOR AND MAPPER.

*George A. Shimp II*

GEORGE A. SHIMP II, PROFESSIONAL SURVEYOR & MAPPER No. 8137  
THIS SURVEY IS NOT COMPLETE OR VALID UNLESS ATTACHED TO SURVEYOR'S REPORT.

JOB NUMBER: 080113A

DATE SURVEYED: 6-13-2012

DRAWING FILE: 080113A.DWG

DATE DRAWN: 6-14-2012

LAST REVISION: N/A

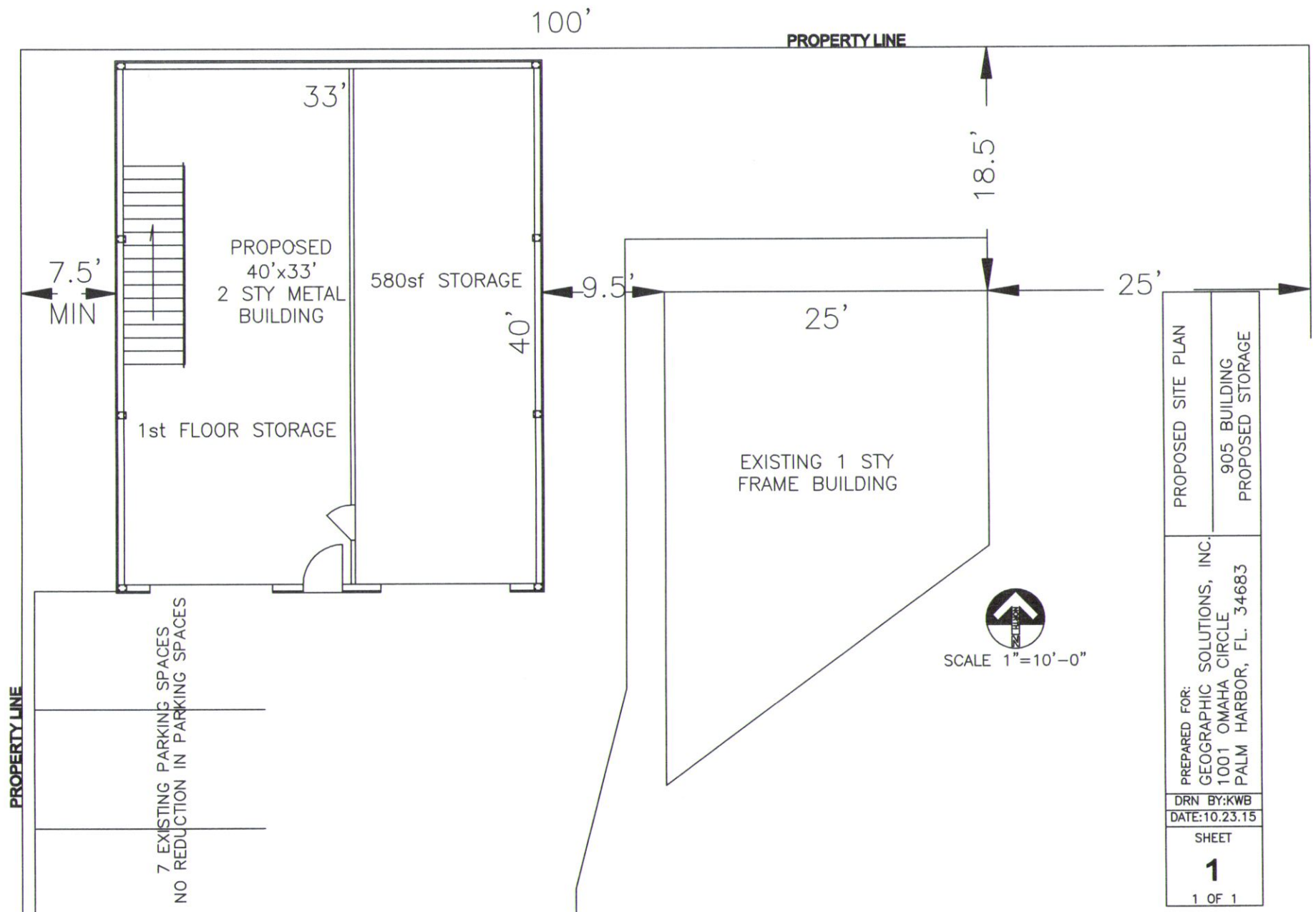
X REFERENCE: 080113



**GEORGE A. SHIMP II  
AND ASSOCIATES, INCORPORATED**

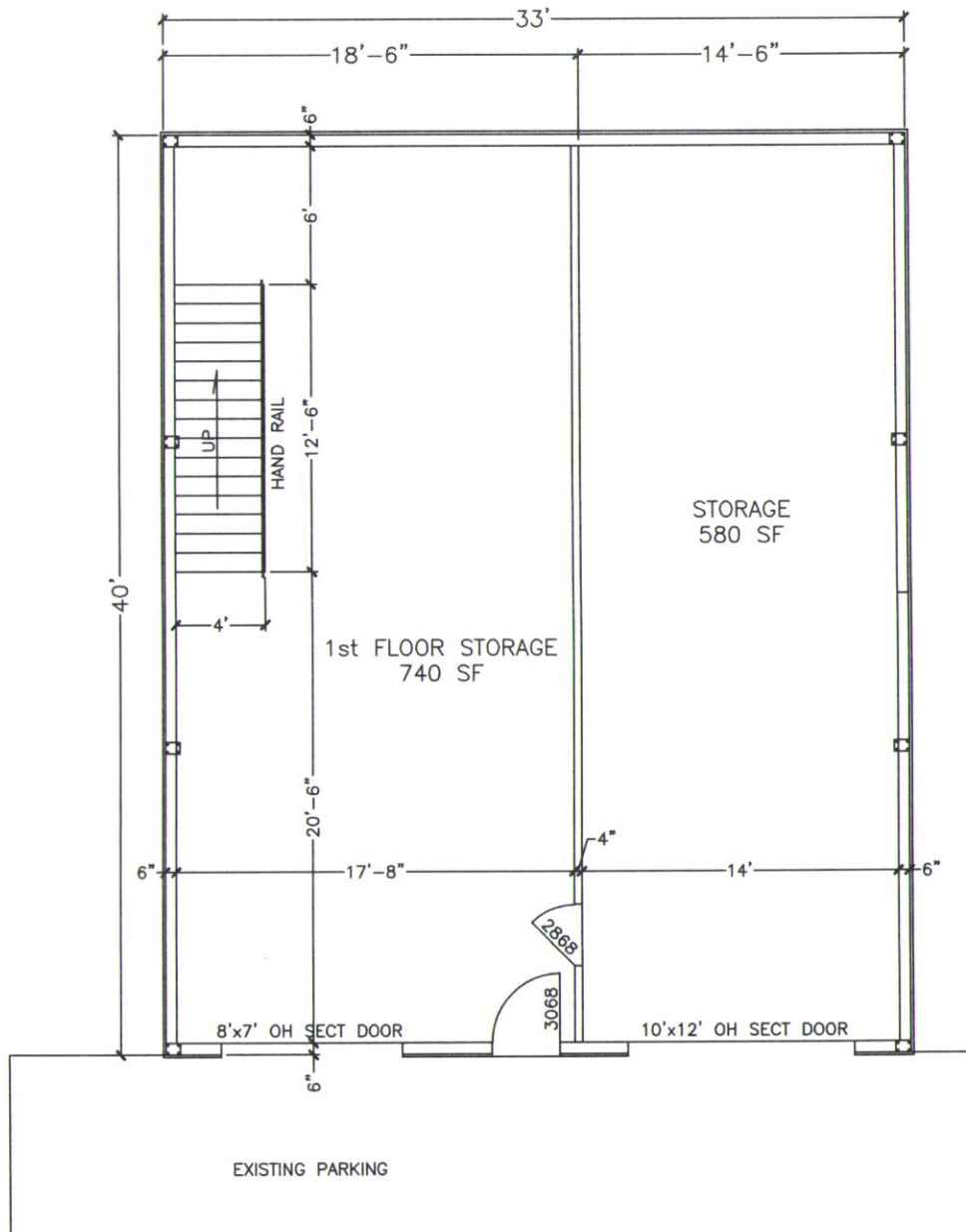
LAND SURVEYORS LAND PLANNERS  
3301 DUSOTO BOULEVARD, SUITE D  
PALM HARBOR, FLORIDA 34683  
PHONE (727) 784-6496 FAX (727) 786-1256

T.S.  
LB 1834



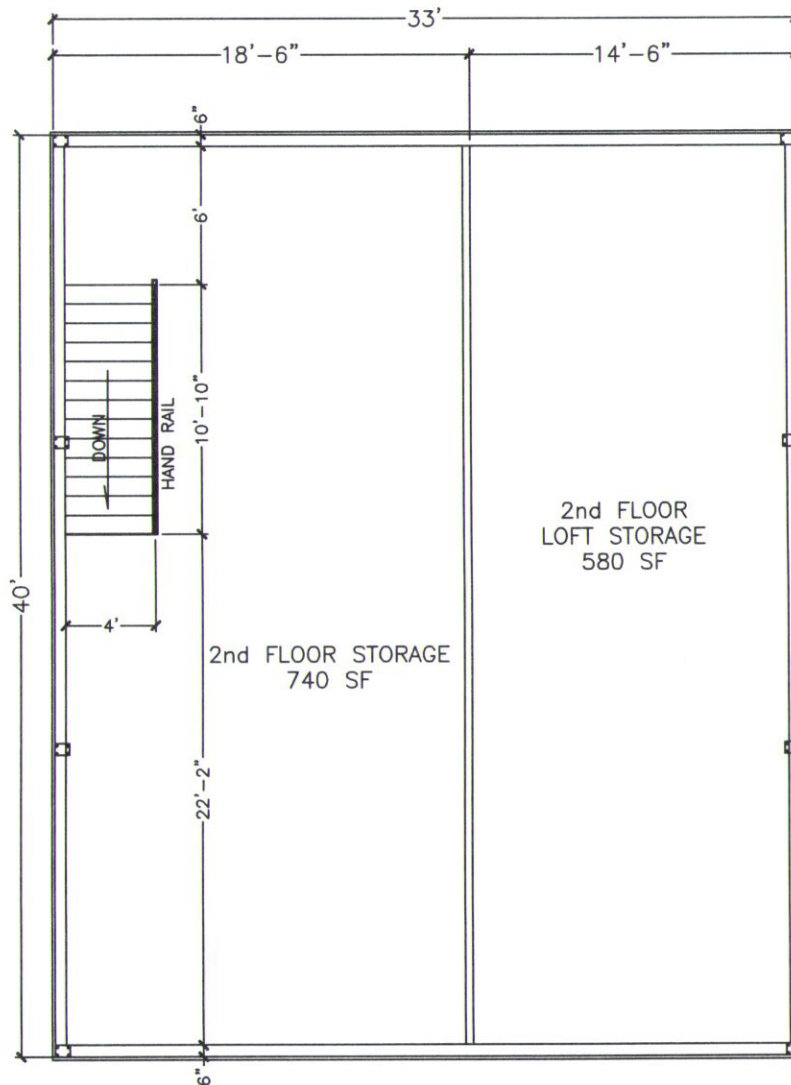
PREPARED FOR: GEOGRAPHIC SOLUTIONS, INC. 1001 OMAHA CIRCLE PALM HARBOR, FL. 34683	PROPOSED SITE PLAN
	905 BUILDING PROPOSED STORAGE
DRN BY:KWB DATE:10.23.15	
SHEET <b>1</b> 1 OF 1	





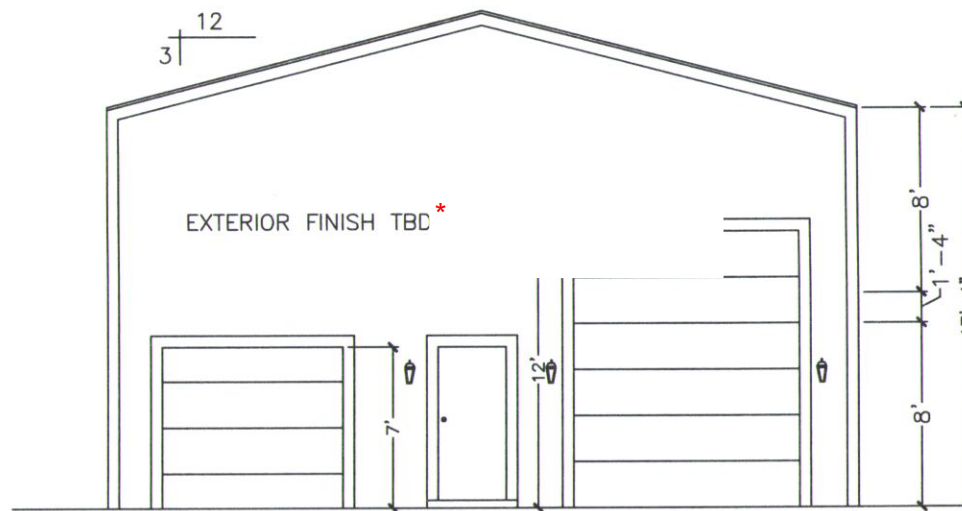
FOR PURPOSES OF  
PLAN ORIENTATION  
SCALE  $\frac{1}{8}" = 1'-0"$

GROUND FLOOR FLOOR PLAN	905 BUILDING PROPOSED STORAGE
PREPARED FOR: GEOGRAPHIC SOLUTIONS, INC. 1001 OMAHA CIRCLE PALM HARBOR, FL. 34683	
DRN BY:KWB DATE:10.23.15	
SHEET	
1	
1 OF 4	



FOR PURPOSES OF  
PLAN ORIENTATION  
SCALE  $\frac{1}{8}" = 1'-0"$

2ND FLOOR FLOOR PLAN	PREPARED FOR: GEOGRAPHIC SOLUTIONS, INC. 1001 OMAHA CIRCLE PALM HARBOR, FL. 34683
905 BUILDING PROPOSED STORAGE	DRN BY:KWB DATE:10.23.15
SHEET <b>2</b> 2 OF 4	

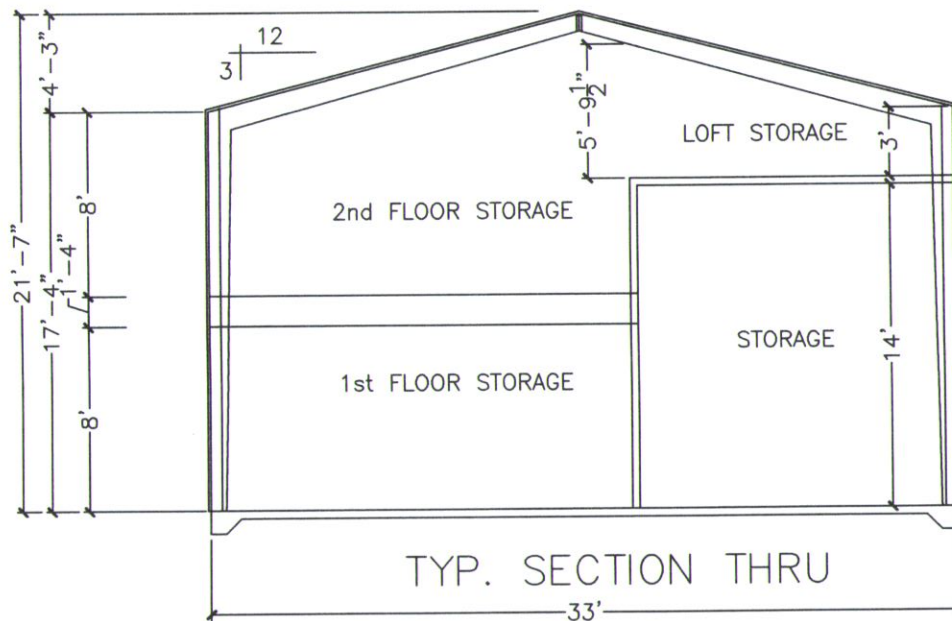


PROPOSED  
FRONT ELEVATION

\*Applicant understands installing siding is a condition for approval.

FRONT ELEVATION	905 BUILDING PROPOSED STORAGE
PREPARED FOR: GEOGRAPHIC SOLUTIONS, INC. 1001 OMAHA CIRCLE PALM HARBOR, FL. 34683	
DRN BY:KWB DATE:10.23.15	
SHEET <b>3</b> 3 OF 4	





SECTION THRU	PREPARED FOR: GEOGRAPHIC SOLUTIONS, INC. 1001 OMAHA CIRCLE PALM HARBOR, FL. 34683
905 BUILDING PROPOSED STORAGE	DRN BY:KWB DATE:10.23.15
SHEET <b>4</b> 4 OF 4	

**COA 2016-2: 905 11<sup>th</sup> Street Palm Harbor – Geographic Solutions, Inc.  
Current Site Photos**



**Figure 1: Front Elevation**



**COA 2016-2: 905 11<sup>th</sup> Street Palm Harbor – Geographic Solutions, Inc.**  
**Current Site Photos**



Existing storage structure that would be demolished. New, two-story storage structure would be built in same location.

**Figure 2: View Looking SW**



**COA 2016-2: 905 11<sup>th</sup> Street Palm Harbor – Geographic Solutions, Inc.  
Current Site Photos**



**Figure 3: South Elevation (Abutting Michigan Ave.)**



**COA 2016-2: 905 11<sup>th</sup> Street Palm Harbor – Geographic Solutions, Inc.  
Current Site Photos**



**Figure 4: Closer view of existing storage structure**



**COA 2016-2: 905 11<sup>th</sup> Street Palm Harbor – Geographic Solutions, Inc.  
Current Site Photos**



**Figure 5: Additional view of existing storage structure.**





**DEAR PROPERTY OWNER:**

**THIS NOTICE IS ABOUT A PUBLIC MEETING ON JANUARY 20, 2016 REGARDING THE PROPERTY IDENTIFIED BELOW.** It is being provided to you since you are either the owner or representative of the owner of the subject property, OR you own land in the vicinity of the subject property.

**Re: Case Number 2016-2**

**Applicant: Geographic Solutions, Inc.**

**SUBJECT PROPERTY: 905 11<sup>TH</sup> STREET, PALM HARBOR, FL 34683**

**THE PURPOSE OF THIS MEETING** is to consider the applicant's request for a certificate of appropriateness for a proposed porch addition and restroom addition. The Historic Preservation Board will review the application for compliance with the County's adopted historic preservation and design provisions for non-contributing structures in the zoning district.

**The public meeting will be held by the Pinellas County Historic Preservation Board at 9 a.m.,  
January 20, 2016  
Pinellas County Planning Department Conference Room  
310 Court Street, Clearwater, 33756**

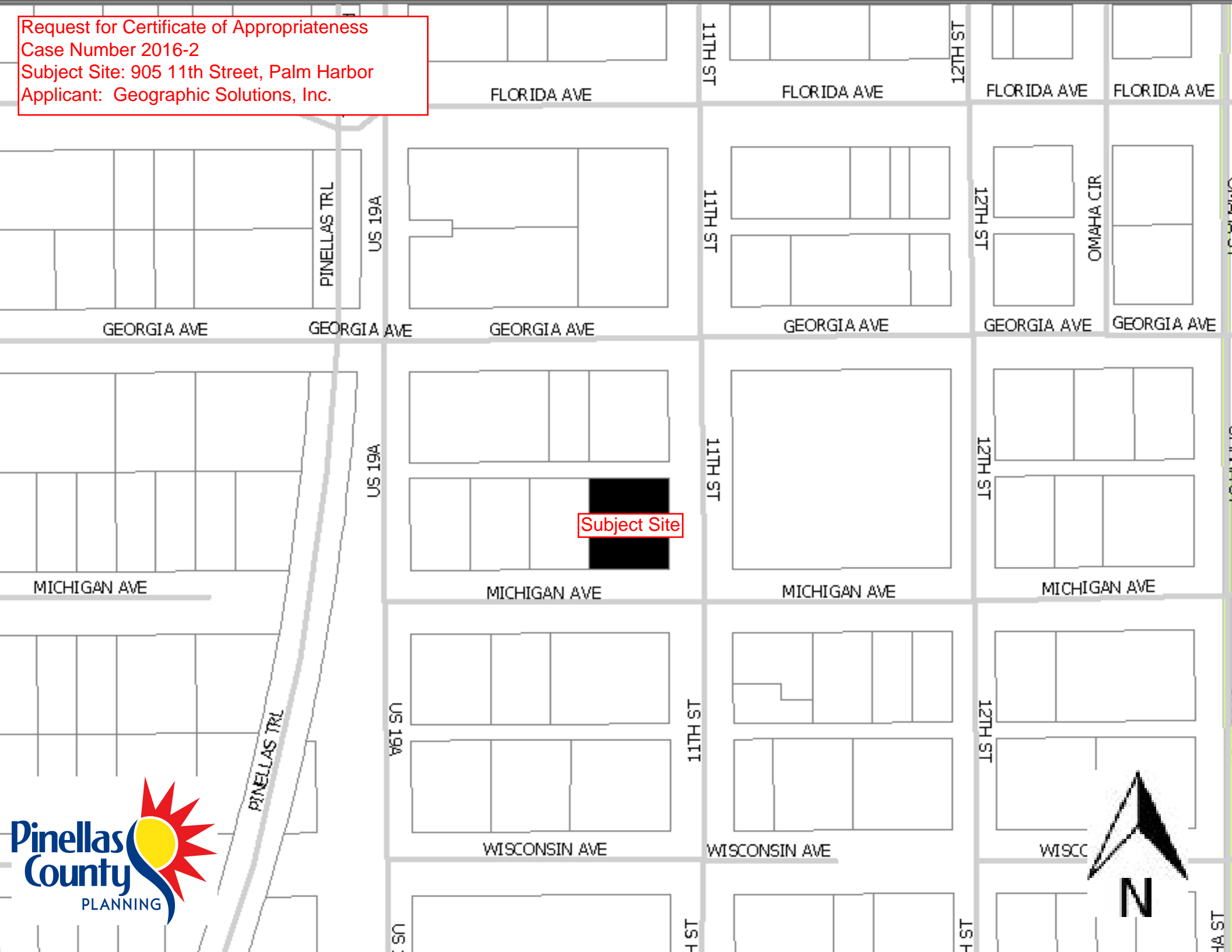
If you have any questions regarding the applicant's proposal, please call our office at **(727) 464-8200** or visit us at the address listed above.

The certificate of appropriateness application can be viewed online at: <http://www.pinellascounty.org/historic>.

Persons are advised that if they decide to appeal any decision made at this meeting/hearing, they will need a record of the proceedings and for such purpose they may need to ensure that a verbatim record of the proceedings is made.

IF YOU ARE A PERSON WITH A DISABILITY WHO NEEDS AN ACCOMMODATION IN ORDER TO PARTICIPATE IN THIS PROCEEDING, YOU ARE ENTITLED, AT NO COST TO YOU, TO THE PROVISION OF CERTAIN ASSISTANCE WITHIN TWO (2) WORKING DAYS OF YOUR RECEIPT OF THIS NOTICE, PLEASE CONTACT THE OFFICE OF HUMAN RIGHTS, 400 S. FT HARRISON AVE., SUITE 500, CLEARWATER, FL 33756 (727) 464-4880 (VOICE) (727) 464-4062 (TDD).

Request for Certificate of Appropriateness  
Case Number 2016-2  
Subject Site: 905 11th Street, Palm Harbor  
Applicant: Geographic Solutions, Inc.



Subject Site



## **Historic Preservation Board Agenda Item IV.**

### **Work Plan Discussion**

At the November 2015 meeting, Rose Cemetery and the Crystal Beach waterfront path were added to the list of potential landmark designations and a motion was passed instructing staff to continue research the potential designation sites in order to provide a recommended prioritized list at the January meeting. Additional research has been conducted and the updated list is attached for review and discussion.

In the November meeting the HPB also requested a discussion at the January meeting on whether to pursue participation in a historic marker program, in lieu of or in conjunction with a Fiscal Year 2016 (FY16) Certified Local Government grant proposal.

**Attachment(s):** Proposed FY16 Work Plan, updated prioritized designation list

**Action Required:** Review and approval of FY16 Work Plan



(Draft) Historic Preservation Board (HPB) Fiscal Year 2016 (FY16) Work Plan

Program	Oct-15	Nov-15	Dec-15	Jan-16	Feb-16	Mar-16	Apr-16	May-16	Jun-16	Jul-16	Aug-16	Sep-16
Preservation Planning and Surveys												
Old Palm Harbor Design Review Manual Update					Staff Updating Manual Text	Communications Dept. Drafting Manual Format		HPB Draft Review				
Grant Proposal - TBD								CLG App. Due June 1				
Historic Resources Management												
Ozona Village Hall Designation	(FY15 carryover)											
FY16 Landmark Designations	Research/Stakeholder Outreach Ongoing for Two FY16 Landmark Designations											
Education and Promotion												
Historic Preservation Educational Pamphlet					Staff Researching/Drafting Text			Communications Dept. Formatting Pamphlet	Draft Presented to HPB for			
FY16 Historic Preservation Summits	Research/Stakeholder Outreach Ongoing for Two FY16 Historic Preservation Summits											
Website Maintenance	Ongoing											
Speakers Bureau Presentations	Ongoing											
HPB Logo						HPB Review Draft Logos						
Miscellaneous												
Ad hoc reviews as need arises	Ongoing											

## Prioritized Historic & Archaeological Resources Designation List

Name of Site & FMSF#	Juris-diction	Architecture or Culture	Area of Significance	Existing Use	Owner-ship	Evaluation	Theme	Description	Staff Comments
<b>Completed Designations</b>									
<b>Fort DeSoto</b> 8Pi0048- 8Pi1697	County	Spanish American War, Battery/Fort area	Spanish American War, Battery/Fort area	Park	County	LS/NR Listed 1977	War	Mullet/Egmont Key use for defense of Tampa Bay	Battery original armament retained in place.
<b>County Court House</b> 8Pi1894	Clwtr	Neoclassical Style 1918	County Seat	Government	County	LS/NR Listed 1992		Government	Well maintained, Restored 1988-97
<b>Ozona Village Hall</b> 8Pi1825	County	Frame Venacular	Historic Town Hall	Social	Private	LS/E	Coastal Living	Ozona Village Improvement Society	Well maintained, Restored 2005
<b>Prioritized Designations</b>									
<b>Rose Cemetery</b>	Tarpon Springs	Cemetery	Traditional Cultural Property	Cemetery	Private	E	Early Settlement	African-American Cemetery	Believed to be oldest African American cemetery in County
<b>Crystal Beach Waterfront Path</b>	County	Landscape	Cultural/Historic Landscape	Waterfront Path	County	E	Coastal Living	Public path in ROW along waterfront	Path was included in original community plat
<b>Yat Kitischee (Moog Midden)</b> 8Pi1753	County	Manasota Culture	Pre-Historic	Part of Airport	County	E	Pre-Historic Occupation	Manasota Culture, small settlement associated with Weeden Island**	Partial full excavation in 2004.
<b>Weedon Island</b> 8Pi0001	County	Weedon Island Culture I & II 300 A.D. to 1300 A.D.	Several Mounds, Highly developed Indians	Park, Duke Energy	Private	NR Listed 1972	Pre-Historic Occupation	Weedon Island consist of a set of religious beliefs/rituals that helped people make sense of their world**	Spanish Expl. Panfilio Narvaez 1528. On Peninsula, Not an Island.

## Prioritized Historic & Archaeological Resources Designation List

Name of Site & FMSF#	Jurisdiction	Architecture or Culture	Area of Significance	Existing Use	Ownership	Evaluation	Theme	Description	Staff Comments
<b>Anclote Key Light House</b> 8Pi8566	County	110 foot Light House, 1887, Cast Iron Skeleton	Transportation Maritime History	State Park	State	NR Listed 1999	Transportation Maritime	Abandoned in 1985	Restored in 2003
<b>Previously Prioritized/Currently Unfeasible</b>									
<b>Bay Pines Hospital</b> 8Pi0064	County	Mediterranean Revival & pre-historic Aboriginal sites	14 buildings & Archaeological Site w/ several middens and midden mounds	Hospital	Federal	NR Listed 1984		Government	Federal ownership presents challenges
<b>Taylor Home-Stead*</b> 8Pi 1114	Largo	Colonial Revival	Home & Citrus Packing Plant of John Taylor, a State Senator	County Park	County	E	Agriculture	Early Settlement / Homesteading	Major citrus operation; no local historic preservation ordinance
<b>Safety Harbor/Philippi Park*</b> 8Pi0002	Safety Harbor	Archaeological Safety Harbor Period/Culture (A.D.1000)		County Park	County	NR Listed 1966	Pre-Historic Occupation	Tocobagos, Odet Philipie Homestead, 1830	Tocobago Indians; no local historic preservation ordinance

**NR** - Listed on the National Register of Historic Places

**E** - Eligible for listing on National Register

**LS** - Locally significant resource

\* No Local Historic Preservation Ordinance

Source: Florida Master Site File, 2013



## **Historic Preservation Board Agenda Item V.**

### **2016 Historic Preservation Summit Planning**

As discussed in the November meeting, John Barie has met with historic preservation staff from the City of St. Pete Beach and staff at the Clearwater Historical Society to gauge their respective interest in hosting a FY2016 summit.

**Attachment(s):** None.

**Action Required:** None.

**Historic Preservation Board Agenda Item VI.**

**Communications Department Collaborations**

**A.** Updates on Old Palm Harbor Design Manual, Historic Preservation Board logo and website

**Attachment(s):** None.

**Action Required:** None.