

**BOARD OF COUNTY COMMISSIONERS**

**DATE:** October 22, 2013  
**AGENDA ITEM NO.** 24a.

**Consent Agenda** ☐

**Regular Agenda** ☐

**Public Hearing** ☒

**County Administrator's Signature**

**Subject:**

Zoning and Land Use Case No. Z/LU-22-9-13 (Loyal Order of Moose Palm Harbor Lodge 433)

**Department:**

Department of Planning and Development Services

**Staff Member Responsible:**

Larry Arrington, Executive Director

**Recommended Action:**

I RECOMMEND THE BOARD OF COUNTY COMMISSIONERS (BOARD) APPROVE THE REQUEST TO AMEND THE ZONING AND FUTURE LAND USE MAP.

**Summary Explanation/Background:**

The Moose Lodge is requesting the zoning and land use change to address a severe existing parking issue as members currently park in the public right-of-way and back out into the public right-of-way. Therefore, to address the need for on-site parking, a portion of their site that is zoned R-4, One, Two & Three Family Residential and designated as Residential Urban on the Future Land Use Map (FLUM) has been requested to be changed to P-1, General Professional Office and Residential/Office General, respectively, to allow for the development of a parking lot that will meet the parking requirements for the Lodge and remove the parking from the public right-of-way. Additionally, approval of this request will also remove the current C-2, General Retail Commercial & Limited Services zoning designation from the eastern portion of the site, which is inconsistent with the Residential/Office General FLUM designation on that portion of the site.

**Fiscal Impact/Cost/Revenue Summary:**

N/A

**Exhibits/Attachments Attached:**

Staff Report with LPA Recommendation, Zoning Maps, Resolution, Ordinance, Correspondence & Site Plan

# LOCAL PLANNING AGENCY (LPA) RECOMMENDATION to the BOARD OF COUNTY COMMISSIONERS



Regarding: Case No. Z/LU-22-9-13

**LPA Recommendation:** The LPA finds that the proposed amendments to the Pinellas County Future Land Use Map and Zoning Atlas are consistent with the Pinellas County Comprehensive Plan, and recommends Approval of the request. (The vote was 7-0, in favor)

**LPA Public Hearing: September 12, 2013**

## PLANNING STAFF RECOMMENDATION:

- Staff recommends that the LPA find that the proposed amendments to the Pinellas County Future Land Use Map and Zoning Atlas are consistent with the Pinellas County Comprehensive Plan based on the findings in this Report.
- And further, staff recommends that the LPA recommend approval of the proposed amendments to the Pinellas County Board of County Commissioners.

## CASE SUMMARY

**APPLICANT'S NAME:** Loyal Order of Moose Palm Harbor- Lodge 433

**DISCLOSURE:** Michael Corkum Sr.-Governor, Richard Maciuba-Admin, Michael Hensley-Jr. Gov, Cliff Snyder-Treas., John Holbach-Jr. Past Gov., William Bronson-Prelate, Terry Thomas, Wayne Lucas & Keith Maciuba-Trustees

**REPRESENTED BY:** Richard Marcel/Giacomo Licari

	LAND USE CHANGE	ZONING CHANGE
<b>FROM:</b>	Residential/Office General (0.21 acre) & Residential Urban (0.13 acre)	R-4, One, Two & Three Family Residential & C-2, General Retail Commercial & Limited Services
<b>TO:</b>	Residential/Office General (0.34 acre)	P-1, General Professional Office (0.34 acre)

## PROPERTY DESCRIPTION:

Approximately 0.34 acre located on the northwest corner of Alt. U.S 19 (Palm Harbor Boulevard) and Rebstock Boulevard, Palm Harbor. *(The proposed Future Land Use Map amendment only applies to the western portion of the parcel (0.13 acres); and the proposed zoning amendment will apply to the entire property).*

**PARCEL ID(S):** 35/27/15/19908/004/0270

**PROPOSED BCC HEARING DATE:** October 22, 2013

**CORRESPONDENCE RECEIVED TO DATE:**

Correspondence was received with comments and concerns.

**PERSONS APPEARING AT THE LOCAL PLANNING AGENCY HEARING:**

Two persons appeared with concerns.

**SURROUNDING ZONING AND LAND USE FACTS:**

	Land Use Category	Zoning Designation	Existing Use
<b>Subject Property:</b>	Residential/Office General & Residential Urban	R-4 & C2	Moose Lodge
<b>Adjacent Properties:</b>			
<b>North</b>	Residential/Office General & Residential Urban	R-4 & C2	Office and a Single-Family Home
<b>East</b>	Residential/Office General	C-2	Used Car Sales and a Vet Clinic
<b>South</b>	Residential/Office General & Residential Urban	R-4 & C2	Vacant
<b>West</b>	Residential Urban	R-4	Single-Family Home

**STAFF DISCUSSION AND ANALYSIS**

**BACKGROUND**

The subject site is 0.34 acre in size and developed with a 2,775 sq. ft. wooden building built in the 1920s. It is currently being used as a Moose Lodge. The Future Land Use Map (FLUM) and zoning designations on the subject site are *Residential Urban (RU)* on the western 0.13 acre portion (with *R-4, One, Two & Three Family Residential* zoning) and *Residential/Office General (R/OG)* on the eastern 0.21 acre portion (with *C-2, General Retail Commercial & Limited Services* zoning). The applicant has requested a FLUM amendment to the western 0.13 acre portion of the subject site from *RU* to *R/OG*, and a zoning change on the entire site from: *R-4* and *C-2* to: *P-1, General Professional Office*. This amendment would expand the depth of *R/OG* at this location along U.S. Alt 19 by one lot.

The applicant has requested the proposed amendments in order to have the ability to construct a parking area to serve the Moose Lodge patrons, since they are currently parking in and along the public rights-of-way and are backing out onto U.S. Alt. 19 and along Rebstock Boulevard. The applicant has indicated to County staff that they do not intend to expand or move the existing building and do not have any future plans on redeveloping the subject site. While a fraternal lodge would normally require a special exception in the P-1 zoning district (and a conditional use if serving alcohol in proximity to residential development), the Moose Lodge has been at this location for a number of years and is currently working with County staff to be designated as a legal non-conforming use so that a special exception and a conditional use is not required in conjunction with this case. The Concept Plan is attached and depicts the parking lot that will accommodate patrons of the existing use.

## COMPATIBILITY WITH SURROUNDING LAND USES

Properties to the north and south of the subject site are designated as *RU* and *R/OG* on the FLUM. The property to the south is vacant and those to the north are developed with an office and single-family home. To the west of the subject site is a single family home designated *RU* on the FLUM, with *R-4* zoning. To the east of the subject site, on the opposite side of U.S. Alt. 19, there is a used car lot and a vet clinic designated *R/OG* on the FLUM, with *P-1* and *C-2* zoning.

When taking into consideration the subject site's frontage along U.S. Alt. 19, the site's surrounding uses, and established FLUM categories, the application of the proposed *R/OG* FLUM category at this location can be considered consistent with the *R/OG* purpose and locational characteristics identified in the "*Future Land Use Category Descriptions and Rules*" of the Future Land Use and Quality Communities Element of the Pinellas County Comprehensive Plan. Specifically, the purpose and locational characteristics indicate that the proposed *R/OG* FLUM category is appropriate for parcels that are along arterial roadways that serve as a transition between residential and non-residential uses. In this case, the subject site is located along U.S. Alt. 19, a two-lane undivided minor State arterial road, which provides for an appropriate transition between the roadway and the single-family residential area to the west. Importantly, the *R/OG* designations along this portion of U.S. Alt. 19 are limited in depth making it a challenge to develop/redevelop these parcels of land. In fact, the Board of County Commissioners recently approved a similar case along U.S. Alt 19 (Z/LU18-7-13), expanding the depth of *R/OG* at the northwest corner of U.S. Alt. 19 and Magnolia Avenue, where the limited depth of *R/OG* inhibited the ability to meet onsite parking minimums and drainage/retention for the proposed veterinarian clinic.

## TRANSPORTATION IMPACTS AND CONCURRENCY

When comparing the development potential of the existing *RU* FLUM category with the potential uses associated with the proposed *R/OG* FLUM designation, the proposed amendment on the 0.13 acre portion of the subject site could generate approximately 24 additional average daily trips on the section of U.S. Alt. 19, from Klosterman Road to Alderman Road. U.S. Alt. 19 is designated by the 2012 Concurrency Test Statement as a Constrained Corridor, and is operating at a LOS F; therefore, the proposed development will be subject to concurrency management requirements during the site plan process.

However, additional traffic impacts are not expected to occur, since the subject site is not actually proposed to be redeveloped. As stated above, the amendment will permit the construction of a parking area on the subject site to serve existing Moose Lodge members/patrons, who are currently parking in and along the rights-of-way and backing out onto U.S. Alt. 19 and along Rebstock Boulevard.

## OTHER INFRASTRUCTURE IMPACTS

The subject site is located within the Pinellas County Water Demand Planning Area and the William E. Dunn Wastewater Reclamation Facility Service Area. Amending the subject site to *R/OG* could decrease potable water and wastewater demand by approximately 39 gallons per day, respectively. With respect to solid waste disposal, approval of the amendment could increase the amount of solid waste generated by approximately 4.45 tons per year.

However, as already indicated, since the only change anticipated as a result of this amendment will be the construction of a parking area and the provision of on-site stormwater treatment, no actual change in infrastructure impacts is anticipated.

## SUMMARY

In summary, when evaluating the overall compatibility of the request with the surrounding area and with the Comprehensive Plan, staff has concluded that the requested *R/OG FLUM* category and *P-1* zoning designation are appropriate at this location, since the subject site will serve as a transition between the U.S. Alt. 19 corridor and the residential development to the west. In addition, approval of the request will contribute to the overall redevelopment viability of the site in the future.

## IMPLEMENTATION OF THE PINELLAS COUNTY COMPREHENSIVE PLAN

Staff finds that the proposed amendment is **consistent** with the following adopted goal, objective, and policies of the Pinellas County Comprehensive Plan:

### FUTURE LAND USE ELEMENT:

- Goal 1: The pattern of land use in Pinellas County shall be orderly and reasonable in distribution and intensity, conserve natural resources, be in the overall public interest, and effectively serve the community and environmental needs of the population.
- Objective 1.2 Establish development regulations that respond to the challenges of a mature urban county with established communities that are experiencing infill development and redevelopment activity.
- 1.2.3. Policy: Plan designations on the Future Land Use Map shall be compatible with the natural environment, support facilities and services, and the land uses in the surrounding area.
- 1.2.4. Policy: Recognizing that successful neighborhoods are central to the quality of life in Pinellas County, redevelopment and urban infill development should be compatible with and support the integrity and viability of existing residential neighborhoods.

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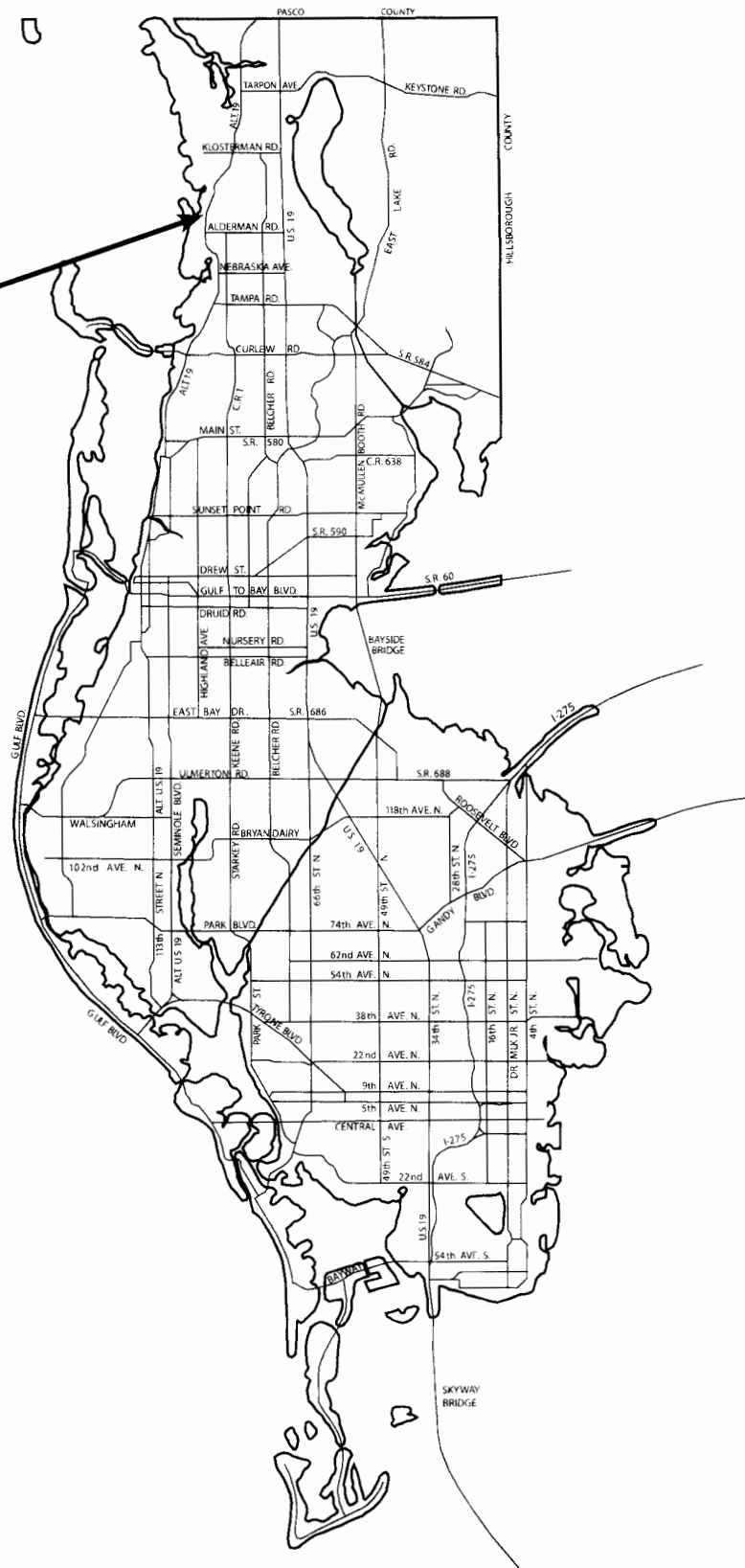
## COUNTY DEVELOPMENT REGULATIONS

Approval of this request does not ensure that the site can meet County development regulations, including concurrency management regulations, which apply at the time of site plan review.

Attachment (Maps)  
Concept Plan

# LOCATION MAP

**Z/LU-22-9-13**



MAP-1

**Z/LU-22-9-13**

**Zoning** From: R-4, One, Two & Three Family Residential & C-2,  
General Retail Commercial & Limited Services

To: P-1, General Professional Office (0.34 acre)

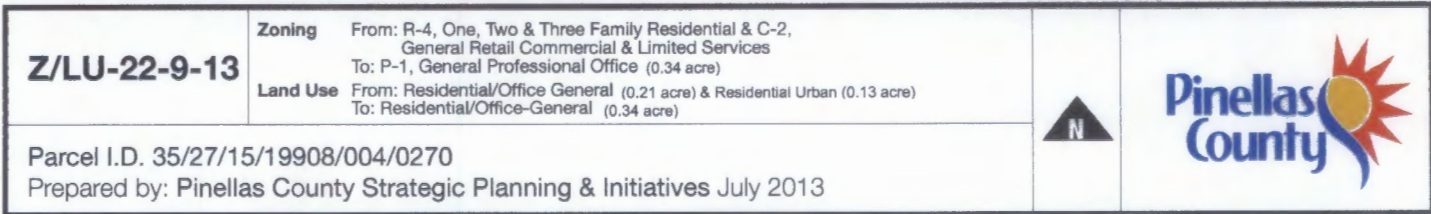
**Land Use** From: Residential/Office General (0.21 acre) & Residential Urban (0.13 acre)  
To: Residential/Office-General (0.34 acre)

Parcel I.D. 35/27/15/19908/004/0270

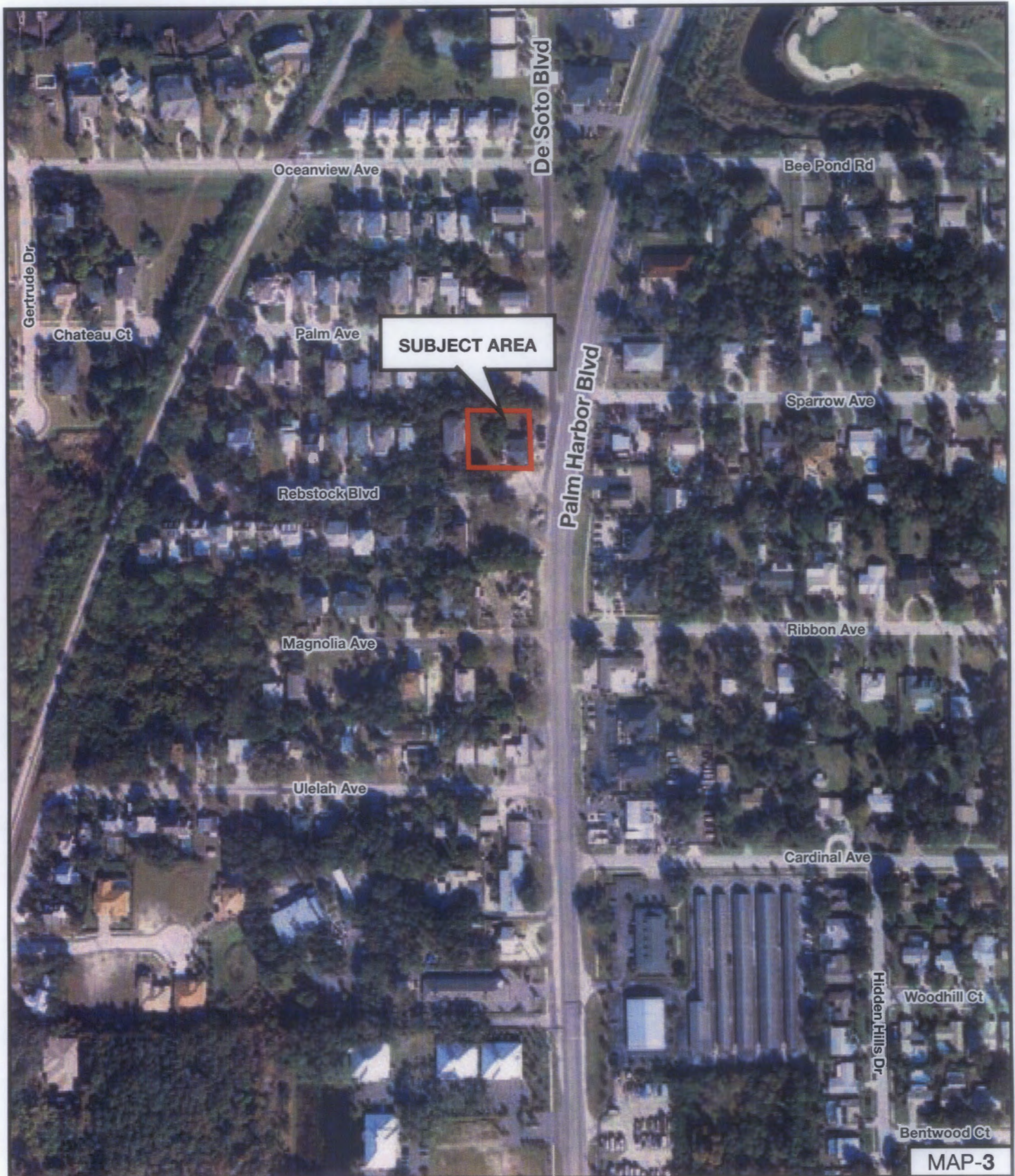
Prepared by: Pinellas County Strategic Planning & Initiatives July 2013











**Z/LU-22-9-13**

**Zoning** From: R-4, One, Two & Three Family Residential & C-2, General Retail Commercial & Limited Services  
To: P-1, General Professional Office (0.34 acre)  
**Land Use** From: Residential/Office General (0.21 acre) & Residential Urban (0.13 acre)  
To: Residential/Office-General (0.34 acre)

Parcel I.D. 35/27/15/19908/004/0270

Prepared by: Pinellas County Strategic Planning & Initiatives July 2013







**Z/LU-22-9-13**

**Zoning** From: R-4, One, Two & Three Family Residential & C-2,  
General Retail Commercial & Limited Services  
To: P-1, General Professional Office (0.34 acre)  
**Land Use** From: Residential/Office General (0.21 acre) & Residential Urban (0.13 acre)  
To: Residential/Office-General (0.34 acre)

Parcel I.D. 35/27/15/19908/004/0270

Prepared by: Pinellas County Strategic Planning & Initiatives July 2013



MAP-4

RESOLUTION NO. \_\_\_\_\_

RESOLUTION CHANGING THE ZONING CLASSIFICATION OF APPROXIMATELY 0.34 ACRE LOCATED ON THE NORTHWEST CORNER OF ALT. 19 AND REBSTOCK BOULEVARD, PALM HARBOR; PAGE 69 OF THE ZONING ATLAS, AS BEING IN SECTION 35, TOWNSHIP 27, RANGE 15; FROM R-4, ONE, TWO & THREE FAMILY RESIDENTIAL & C-2, GENERAL RETAIL COMMERCIAL & LIMITED SERVICES TO P-1, GENERAL PROFESSIONAL OFFICE (0.34 ACRE); UPON APPLICATION OF LOYAL ORDER OF MOOSE PALM HARBOR LODGE 433 THROUGH RICHARD MARCEL/GIACOMO LICARI, REPRESENTATIVES, Z/LU-22-9-13

WHEREAS, Loyal Order Of Moose Palm Harbor Lodge 433, Owner of the property hereinafter described, has petitioned the Board of County Commissioners of Pinellas County to change the zone classification of the real property hereinafter described from R-4, One, Two & Three Family Residential & C-2, General Retail Commercial & Limited Services to P-1, General Professional Office (0.34 acre); and

WHEREAS, legal notice of public hearing on such proposed change of zone classification was duly published as required by law, as evidenced by publisher's affidavit filed with the Clerk; and

WHEREAS, said public hearing has been held on the date and at the time specified in said published notice at which citizens and interested persons have been given opportunity to be heard, and all requirements of law and of rules promulgated by this Board have been complied with; and

WHEREAS, this Board has determined that the zone classification of said property should be changed.

NOW THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Pinellas County in regular session duly assembled this 22<sup>nd</sup> day of October 2013, that the zone classification of the following described real property in Pinellas County, Florida, to wit:

LOTS 27, 29 AND 30, BLOCK 4 CRYSTAL BEACH HEIGHTS, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 58, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

be, and the same is hereby changed from R-4, One, Two & Three Family Residential & C-2, General Retail Commercial & Limited Services to P-1, General Professional Office (0.34 acre), subject to an amendment to the Pinellas County Future Land Use Map from Residential/Office General (0.21 acre) & Residential Urban (0.13 acre) to Residential/Office General (0.34 acre), Z/LU-22-9-13.


Commissioner \_\_\_\_\_ offered the foregoing resolution and moved its adoption, which was seconded by Commissioner \_\_\_\_\_ upon the roll call the vote was:

Ayes:

Nays:

Absent and not voting:

APPROVED AS TO FORM  
OFFICE OF COUNTY ATTORNEY

By   
Attorney

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AMENDING THE FUTURE LAND USE MAP OF PINELLAS COUNTY, FLORIDA BY CHANGING THE LAND USE DESIGNATION OF APPROXIMATELY 0.34 ACRE LOCATED ON THE NORTHWEST CORNER OF ALT. 19 AND REBSTOCK BOULEVARD, PALM HARBOR LOCATED IN SECTION 35, TOWNSHIP 27, RANGE 15; FROM RESIDENTIAL/OFFICE GENERAL (0.21 ACRE) & RESIDENTIAL URBAN (0.13 ACRE) TO RESIDENTIAL/OFFICE GENERAL (0.34 ACRE), PROVIDING FOR OTHER MODIFICATIONS THAT MAY ARISE FROM REVIEW OF THIS ORDINANCE AT THE PUBLIC HEARING AND/OR WITH OTHER RESPONSIBLE PARTIES; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the application for an amendment to the Future Land Use map of Pinellas County, Florida, hereinafter listed, has been presented to the Board of County Commissioners of Pinellas County; and

WHEREAS, notice of public hearings and advertisements have been given as required by Florida Law; and

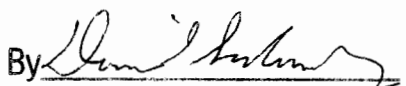
WHEREAS, the comments and recommendation of the Local Planning Agency have been received and considered; and

WHEREAS, this is a small-scale development amendment, as defined by Section 163.3187(1), Florida Statutes.

NOW THEREFORE, BE IT ORDAINED by the Board of County Commissioners of Pinellas County, Florida in regular meeting duly assembled this 22<sup>nd</sup> day of October 2013 that:

- Section 1. The Future Land Use Map of Pinellas County, Florida is amended by redesignating the property described as: Approximately 0.34 acre located on the northwest corner of Alt. 19 and Rebstock Boulevard, Palm Harbor. Referenced as Case Z/LU-22-9-13, and owned by Loyal Order of Moose Palm Harbor Lodge 433, from Residential/Office General (0.21 acre) & Residential Urban (0.13 acre) to Residential/Office General (0.34 acre). Legal description: Lots 27, 29 and 30, Block 4 Crystal Beach Heights, according to the map or plat thereof as recorded in Plat Book 3, Page 58, Public Records of Pinellas County, Florida.
- Section 2. This amendment shall be transmitted to the Pinellas Planning Council for action to amend the Countywide Future Land Use Plan, from Residential/Office General (0.21 acre) & Residential Urban (0.13 acre) to Residential/Office General (0.34 acre) to maintain consistency with the Plan.
- Section 3. This Ordinance shall take effect upon:
- a) Receipt of notice from the Secretary of State that the Ordinance has been filed is received; and
  - b) Approval by the Countywide Planning Authority of the requisite amendment of the Countywide Future Land Use Plan submitted herein pursuant to Chapter 88-464, Laws of Florida, as amended.
  - c) Pursuant to Section 163.3187(5)(c), Florida Statutes, this amendment shall become effective upon 31 days following its adoption. If timely challenged, this amendment shall not become effective until the state land planning agency or the Administration Commission issues a final order determining the adopted small scale amendment is in compliance. No development orders, development permits, or land uses dependent on this Amendment may be issued or commence before the amendment has become effective.

APPROVED AS TO FORM  
OFFICE OF COUNTY ATTORNEY

By   
Attorney



Z/LU-22-9-13

In response to the zoning request of the Moose Lodge, zoning number Z/LU-22-9-13, to be held September 12, 2013.

We are the neighbors directly next door to the west of the residential property, owned by the lodge. We have lived next door for 15 years with little or no problems. Their outdoor parties or any activities have not bothered us, as they are few in number.

Our wish would be for a beautiful Lodge sitting next to us. It would be more pleasant to look at than the one that is there now.

To be honest, if the Lodge decided to move, we would rather have the lot zoned residential and see a family next door. Lately it seems that all the rezoning is being done to accommodate new commercial business along alt 19. There are so many unoccupied commercial sites; I don't think we need more. On the other hand, there are very few residential lots left in North Pinellas, such a shame to delete another one from the books. But as the

old song said "they paved paradise and put up a parking lot".

We wish the Lodge had been forth coming in what they intended to do, instead of me having to call the county to ask questions. As neighbors, I feel that was only a courtesy. There are cable and gas lines where the Lodge started to work on the grounds. I feel, not going through proper channels can create dangerous situations during excavation.

The Moose do wonderful charity work but they need to keep in mind that these are our homes, not just a place to socialize for us; they need to respect the neighbors around them. I am sure they want that at their homes.

We have a personal stake in this property.

We kindly ask the board and Lodge to take into consideration the fact that changing the ground water run off could cause issues for us and homes behind us. Over the years we have had to tweak our property to

protect from serious erosion of our driveway, back patio and flooding on the side of our home.

I think if we all work together, we could very happily coexist.

After looking over the site plan provided to the county, by the lodge, it looks like parking will be the only use for this change.

If that is the case we ask that:

1. No permanent or semi-permanent roof structure would be erected to hold outdoor activities. Let us keep in mind the lodge is a bar, so the legalities of alcohol on the property plays in here.

- 2: the dumpster to remain on the east side of the building, where it is. If moved to the proposed spot, it would be a vermin attracter and also, when the garbage truck comes in to empty the dumpster, the noise is quite loud. At one time the company came at 4am and there



was no way you could sleep through the slamming of the dumpster.

3: If lighting needs to be added, for safety, we ask that it is not large light poles. Our bedrooms are on that side of the house and they will illuminate the rooms. Also, since the Lodge is usually emptied out by midnight, any lights in the parking area could be on a timer and automatically shut off.

4: We ask that the proposed water storage area be installed before any type of ground changes occur, so no new erosion will occur.

5: We ask that any site work enhances the area, as our homes are all kept in clean and neat appearances. Along our property line, we would like an 8foot fence erected. Since the homes are two stories, a 6' fence would do little to give us privacy in our downstairs.

6: If this land is truly going to be for parking, we should not have vehicles parked down our streets, which could

limit the access of emergency vehicles from passing, if, need be.

Finally, as a personal note, we ask that the Lodge keep the neighbors informed of large future projects. I know this can't be mandated, but I submit that it is just a neighborly courtesy.

For your reference, I have enclosed pictures of our property and the Lodge, so you can determine the best course of action for all involved.

We have lived and paid our taxes on all the Pinellas properties that we own, for 33 years. In a time where some people are rewarded with bail outs when they don't pay their bills, we are asking for your consideration for people who have followed the rules and have pride in their properties in Pinellas county.

Respectfully,

Peter and Patricia Maksymkow

*Peter Maksymkow*  
*Patricia Maksymkow*  
*525 Rebeck Bl*  
*DN HI 34183*



our house

proposed  
← parking



← side of  
Lodge  
where they  
have their  
BBQ &  
outdoor part

This is next  
door to the  
hedges in  
top picture





Dumpster  
Site, now

← Driveway

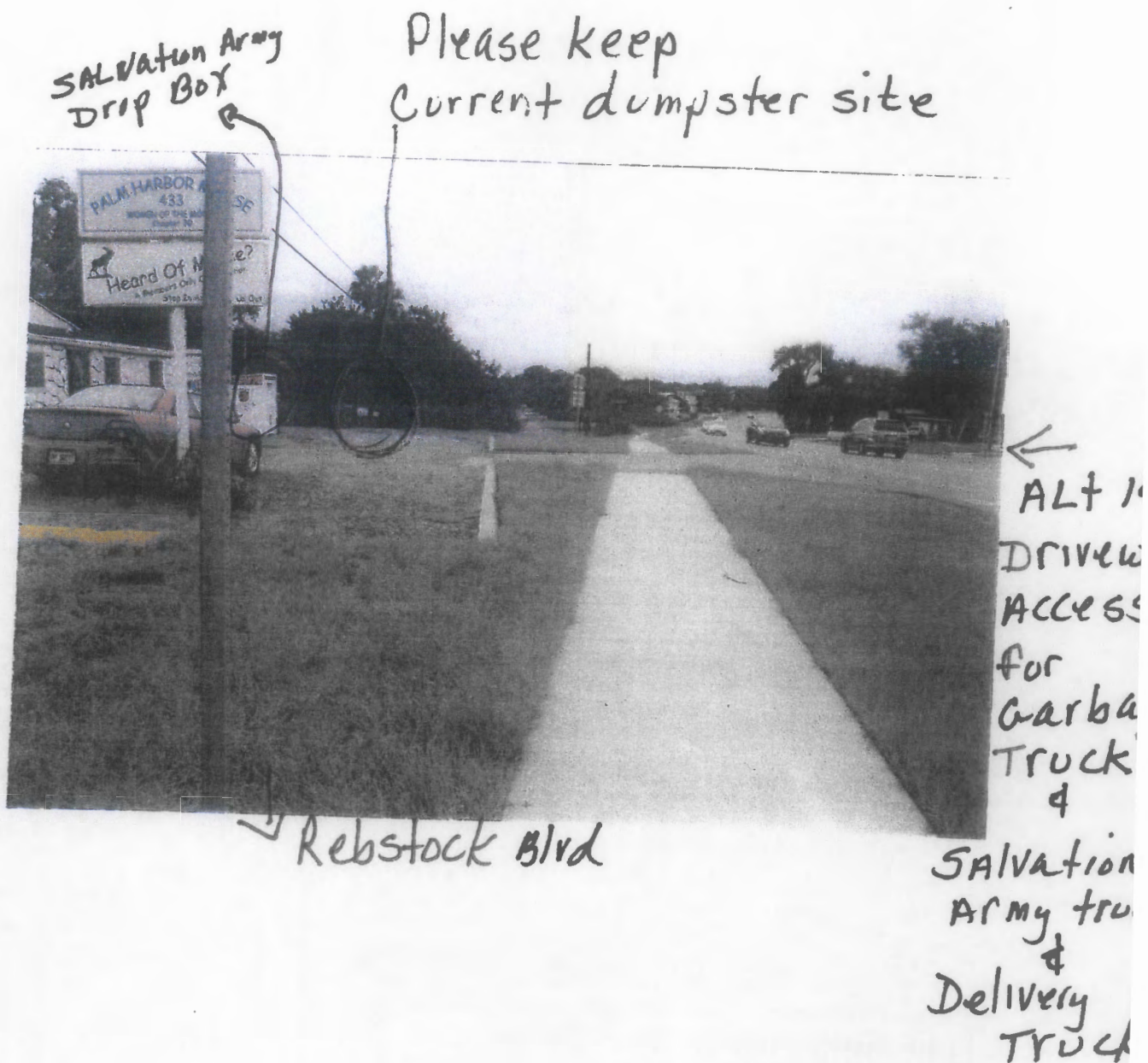
ALT 1



ALT 19  
Front of  
Lodge

Dump





Dumpster currently NOT in right of way  
but back in north east corner of lot.  
This area has driveway access off ALT 19.  
Driveway also serves the pickup from  
Salvation Army drop box. This location  
is the least disruptive to the homes  
around lodge.





proposed  
Dumpst  
site

Alternate dumpster site if  
must be moved



\*



What is this tractor doing behind the lodge??? What are we up too now??? Come on in for pizza tonight and "chill on the hill" to find out!!!!



Madonna, you are # 36.

Like · Comment · Share

**Palm Harbor Moose Lodge 433**  
February 28 · 15 hours · 15

We like all of the likes. Keep it up everyone. Come on up and "chill one the hill" at the "thrill on the hill"!!!!??

Like · Comment · Share

**Palm Harbor Moose Lodge 433**  
September 22 · 15 hours · 15

Looking fir something to do tonight?? Come on up to the "Thrill

This is day  
soil was  
added to  
the lot,  
then pack  
down gra



**Jimmy**

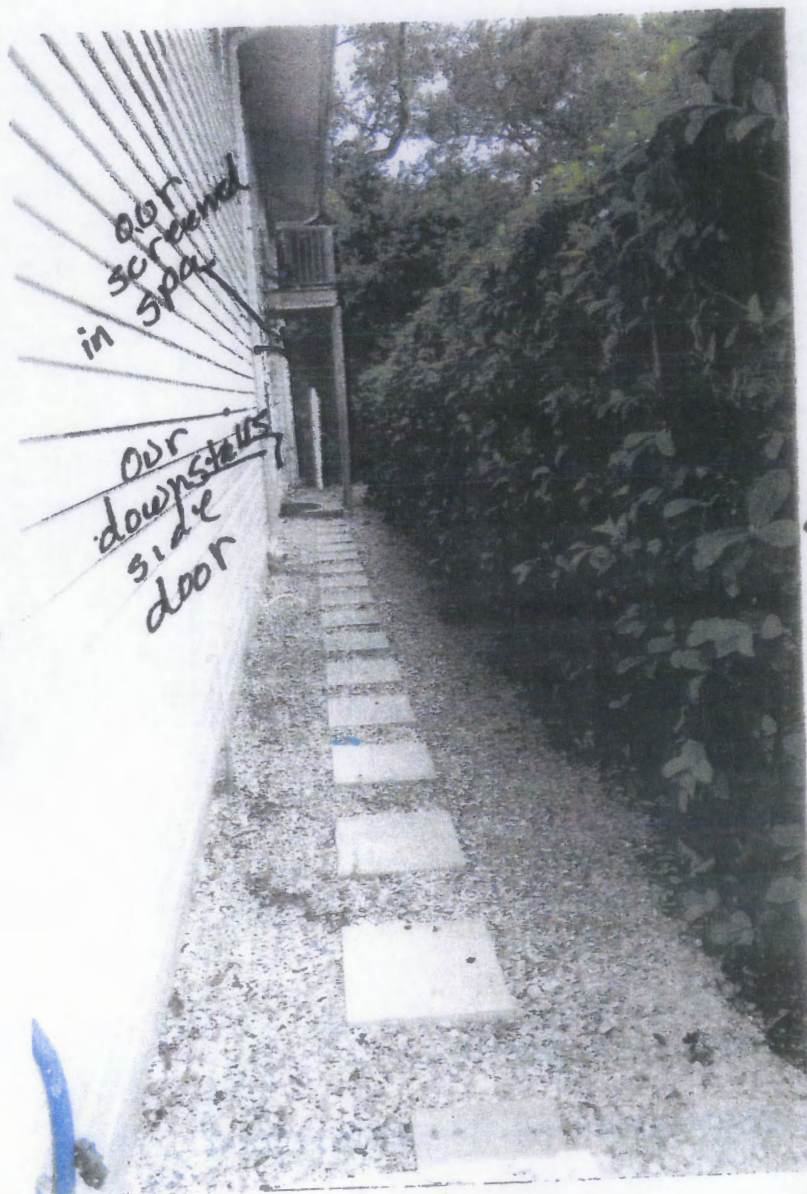
Our angelic bartender, NOT!!!!!!







Dip in  
ground  
due to  
oil & gravel  
being  
added



Drainage  
shells  
added due  
to water  
pooling next  
to east side  
of our home

our  
screened  
door  
in  
spa

our  
downstairs  
side  
door

← hedges  
between us &  
lodge property





SCALE: 1" = 20'  
GRAPHIC SCALE

CIVIL ENGINEERING, PERMITTING  
LAND PLANNING, LANDSCAPE  
& SUSTAINABLE DESIGN

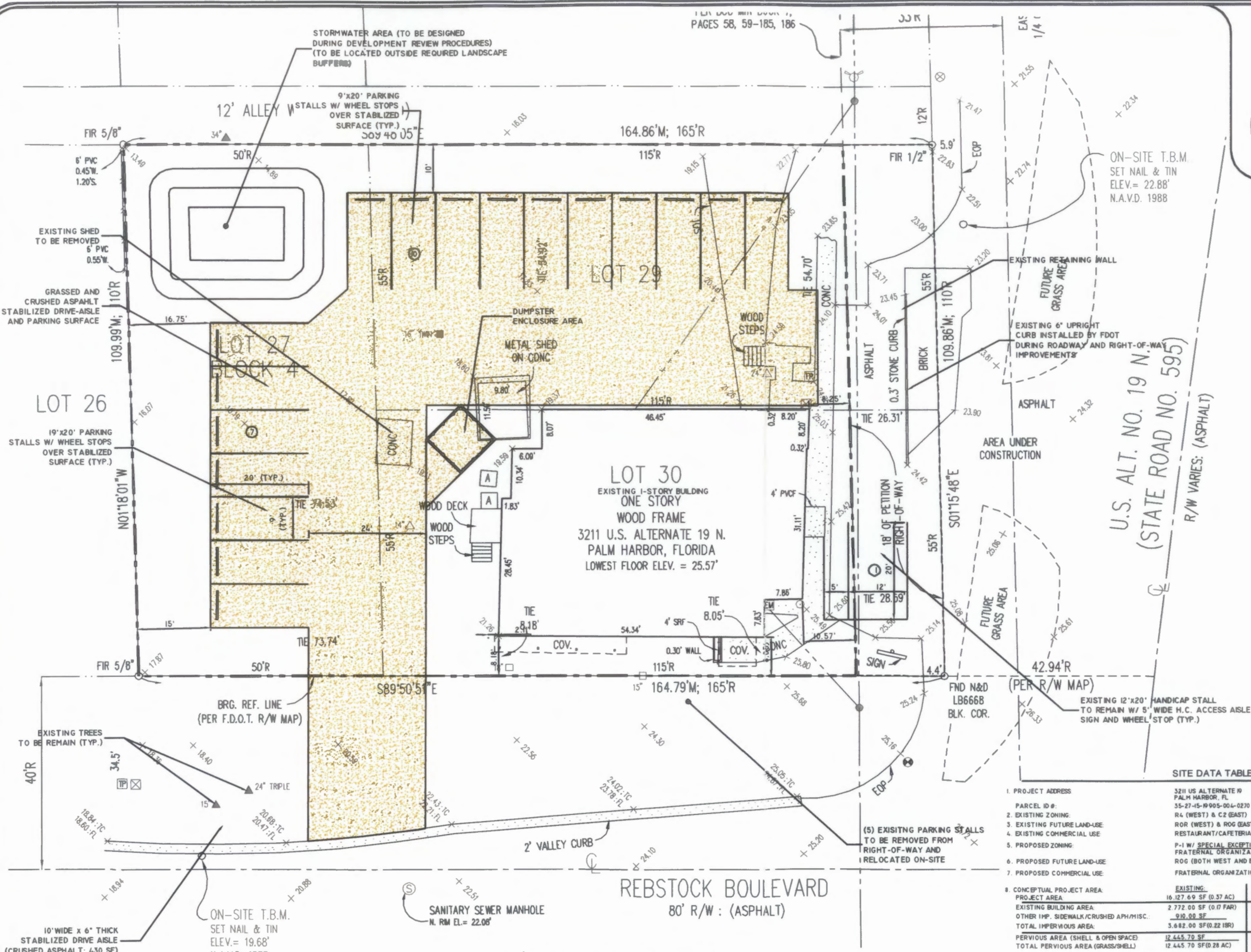
**The Sustainability Group LLC**  
6318 Roman Road  
New Port Richey, FL 34653  
Phone/Fax: (727) 645-9105  
www.sgroupfl.com

MOOSE LODGE OF  
PALM HARBOR #433  
3211 U.S. ALTERNATE 19  
PALM HARBOR, FL

PROJECT NAME: MOOSE LODGE #433  
PROJECT LOCATION: 3211 U.S. ALTERNATE 19  
PALM HARBOR, FL  
SHEET NAME: SITE PLAN FOR ZONING/LAND-USE  
AMENDMENT

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

PROJECT #	7015
ORIGINAL DATE	06.30.13
CHECKED BY	RM
DESIGNED BY	RM
SHEET NO	1 of 1



**SITE DATA TABLE NOTES:**

1. PROJECT ADDRESS	3211 U.S. ALTERNATE 19 PALM HARBOR, FL
2. EXISTING ZONING:	35-27-15-19-905-004-0270
3. EXISTING FUTURE LAND-USE:	R4 (WEST) & C2 (EAST)
4. EXISTING COMMERCIAL USE:	ROR (WEST) & ROG (EAST)
5. PROPOSED ZONING:	P-1 W/ SPECIAL EXCEPTION FOR FRATERNAL ORGANIZATION (BOTH WEST AND EAST SIDES)
6. PROPOSED FUTURE LAND-USE:	ROG (BOTH WEST AND EAST SIDES)
7. PROPOSED COMMERCIAL USE:	FRATERNAL ORGANIZATION
8. CONCEPTUAL PROJECT AREA:	
PROJECT AREA	EXISTING: 16,127.69 SF (0.37 AC) PROPOSED: 16,127.69 SF (0.37 AC) MAXIMUM ALLOWED: 3,225.50 SF (0.20 FAR)
EXISTING BUILDING AREA:	2,772.00 SF (0.17 FAR)
OTHER IMP. SIDEWALK/CRUSHED ASPH/MISC.:	910.00 SF
TOTAL IMPERVIOUS AREA:	3,682.00 SF (0.22 IIR)
PERVIOUS AREA (SHELL & OPEN SPACE):	12,445.70 SF
TOTAL PERVIOUS AREA (GRASS/SHELL):	12,445.70 SF (0.28 AC)
9. RELOCATION OF EXISTING STALLS	6 STALLS (H.C.) 11 STALLS (I.H.C.)
10. STORMWATER	STORMWATER SHALL BE PROVIDED ON-SITE AND DESIGNED DURING DEVELOPMENT REVIEW PROCESS
11. PARKING DEMAND	(900 SF ASSEMBLY AREA)/(1 SPACE PER 50 SF) = 17 STALLS REQUIRED PROVIDED: 17 STALLS + I.H.C.

Z/LU-22-9-13