

BOARD OF COUNTY COMMISSIONERS

DATE: October 8, 2013
AGENDA ITEM NO. 17

Consent Agenda



Regular Agenda



Public Hearing



County Administrator's Signature: *[Signature]* P. 250

Subject:

Proposed Minor Plan Change to Beach By Design Special Area Plan

Department:

Strategic Planning and Initiatives

Staff Member Responsible:

Larry Arrington, Executive Director

Recommended Action:

IT IS RECOMMENDED THE BOARD OF COUNTY COMMISSIONERS (BOARD), SITTING AS THE COUNTYWIDE PLANNING AUTHORITY (CPA), RECEIVE AND ACCEPT THE REQUESTED MINOR CHANGES TO THE BEACH BY DESIGN SPECIAL AREA PLAN.

Summary Explanation/Background:

The Board of County Commissioners (Board) has received a recommendation from the Pinellas Planning Council (PPC or Council) concerning proposed minor changes to the Beach By Design Special Area Plan [Case CW 01-25 (SAP Change No. 7-2013)]. The Board approved the Beach by Design Special Area Plan in June 2001 in support of the City of Clearwater's initiative for guiding redevelopment on Clearwater Beach. Since then, the City has submitted five revisions to Beach by Design for action by the CPA.

The City of Clearwater has submitted a proposal to amend the Beach by Design Special Area Plan for the Marina District section of the Plan. The Marina District is an area of mixed-use located along Clearwater Harbor north of Causeway Boulevard. Beach by Design provides for a height incentive for development located on either side of East Shore Drive within the Marina District. To utilize this height bonus, development must provide to the City a 15-foot wide boardwalk constructed within a public access easement adjacent to the seawall. A non-waterfront property using the height bonus must contribute financially to streetscape projects within the Marina District or the public boardwalk. The proposed amendment would include language in Beach by Design referring to the new "Marina District Boardwalk Design Guidelines and Specifications" and would adopt these guidelines and specifications by reference to provide design criteria for constructing the public boardwalk along the Clearwater Harbor seawall, as well as the sidewalk along East Shore Drive.

County staff agrees with the PPC finding that the proposed changes to Beach by Design are not substantive and concurs with the PPC recommendation that the CPA receive and accept for filing the minor changes.

Fiscal Impact/Cost/Revenue Summary:


N/A

Exhibits/Attachments Attached:

Council Documentation

TO: The Honorable Chairman and Members of the Board of County Commissioners, in Your Capacity as the Countywide Planning Authority

THROUGH: Robert S. LaSala, County Administrator

FROM: Michael C. Crawford, Interim Executive Director
Pinellas Planning Council 

SUBJECT: October 8, 2013 Countywide Planning Authority Agenda
Part III – Regular Agenda Re: Proposed Minor Plan Change to Beach by Design
Special Area Plan – Case CW 01-25 (SAP Change No. 7-2013)

DATE: October 8, 2013

RECOMMENDATION: THE PINELLAS PLANNING COUNCIL RECOMMENDS THE BOARD, IN YOUR CAPACITY AS THE COUNTYWIDE PLANNING AUTHORITY, RECEIVE AND ACCEPT THE MINOR PLAN CHANGE TO BEACH BY DESIGN SPECIAL AREA PLAN, AS OUTLINED BELOW.

DISCUSSION: The Board, in your capacity as the Countywide Planning Authority, has received one (1) Minor Plan Change from the City of Clearwater as described below:

Minor Plan Change to Beach By Design Special Area Plan - City of Clearwater – Case CW 01-25 (SAP Change No. 7-2013)

The City of Clearwater has submitted a minor plan change to the Beach By Design Special Area Plan by referencing the design standards that will govern the proposed public boardwalk to be located along the Clearwater Harbor seawall in the Marina District on Clearwater Beach.

Beach By Design identifies this District as a gateway to the Clearwater Beach, with high visibility from Memorial Causeway and Clearwater Harbor. The Special Area Plan seeks to capitalize on the District's prime waterfront location by providing public access to the waterfront and encourages redeveloping the District into a destination appealing to tourists, pedestrians, and boaters. The Plan encourages redevelopment with a mix of uses including temporary lodging, retail, restaurants, and residential, as well as dock facilities and water-related uses.

The Pinellas Planning Council, by a vote of 12-0 has received and accepted the minor plan change to the Beach By Design Special Area Plan and recommended forwarding same to the Countywide Planning Authority for receipt and acceptance.

Proposed Minor Plan Change to
Beach by Design Special Area Plan
Case CW 01-25 (SAP Change No. 7-2013)

City of Clearwater

PINELLAS PLANNING COUNCIL AGENDA MEMORANDUM

AGENDA ITEM: IV A.

MEETING DATE: September 11, 2013

SUBJECT: Proposed Minor Plan Change to the Beach By Design Special Area Plan
CASE #: CW 01-25 (SAP Change No. 7-2013)
JURISDICTION: Clearwater
LOCATION: See Attached Map
TYPE: Minor Special Area Plan Change

RECOMMENDATION: Council, Based On Accompanying Findings, Receive And Accept The Proposed Minor Change To The Beach By Design Special Area Plan And Transmit This Item To The Countywide Planning Authority For Receipt And Acceptance.

I. BACKGROUND

The City of Clearwater proposes to amend the Beach By Design Special Area Plan by referencing the design standards that will govern the proposed public boardwalk to be located along the Clearwater Harbor seawall in the Marina District on Clearwater Beach. The *Marina District Boardwalk Design Guidelines and Specifications* will be a separate and supplemental document. The attached ordinance (refer to Attachment 1, Ordinance No. 8438-13) from the City outlines the proposed revisions to the Beach By Design Special Area Plan approved and adopted by the City Council on August 14, 2013 (first reading).

The Marina District is located east of Poinsettia Avenue, north of Causeway Boulevard, and adjacent to Clearwater Harbor. The district is characterized by residential, temporary lodging, and limited commercial uses in low buildings.

Beach By Design identifies this district as a gateway to Clearwater Beach, with high visibility from the Memorial Causeway and Clearwater Harbor. The special area plan seeks to capitalize on the district's prime waterfront location by providing public access to the waterfront and encourages redeveloping the district into a destination appealing to tourists, pedestrians, and boaters. The special area plan encourages redevelopment with a mix of uses including temporary lodging, retail, restaurants, and residential, as well as dock facilities and water-related uses.

Beach By Design offers a height incentive for development of parcels located on either side

PINELLAS PLANNING COUNCIL ACTION:

The Council received and accepted the minor plan change to the Beach By Design Special Area Plan and recommended forwarding same to the Countywide Planning Authority for receipt and acceptance (vote 12-0).

COUNTYWIDE PLANNING AUTHORITY ACTION:

of East Shore Drive in the Marina District. Waterfront parcels are eligible to receive the height bonus by constructing a continuous portion of the boardwalk along the length of the property. Non-waterfront parcels are eligible to receive the height bonus by contributing financially to the Papaya Street and Baymont Street streetscapes or the public boardwalk, in a manner to be determined by the City.

The 15-foot-wide public boardwalk will be provided on private property, within a 20-foot easement, and maintained by the City. The City will construct two public entrances to the boardwalk at Baymont Street and Papaya Street, as well as a public plaza at the southern terminus, located adjacent to the public parking lot on the north side of Causeway Boulevard.

The design guidelines provide standards for the boardwalk, the transitions between the boardwalk and boat docks, the sidewalks on East Shore Drive, the public entrances at Baymont Street and Papaya Street, and the public plaza at the southern terminus. Lighting, landscaping, and streetscaping standards are addressed.

II. FINDINGS

Staff submits the following findings in support of the recommendation for approval of the amendment to the Beach By Design Special Area Plan:

- A. The proposed changes are consistent with the overall objectives of the Beach By Design Special Area Plan and are minor in nature.
- B. The changes are consistent with the Countywide Rules and will maintain consistency with the Updated Countywide Plan for Pinellas County (The Countywide Plan).
- C. The submittal satisfies a condition placed on the original approval of Beach By Design (as part of Case #CW01-25) that required the City to submit any amendment to the special area plan to the Pinellas Planning Council (PPC) and the Countywide Planning Authority (CPA) for review and consideration.

In summary, Council staff has reviewed the above proposed revisions to the special area plan and has concluded that these changes are not considered to be substantive relative to the Countywide Rules and the CRD plan category; therefore it is recommended this request be received and accepted by the PPC and CPA, pursuant to the requirements of Section 4.2.7.6.3 of the Countywide Rules.

III. PLANNERS ADVISORY COMMITTEE (PAC)

PAC discussed this item at their September 3, 2013 meeting and recommended Receipt and Acceptance of the proposed Minor Plan Change (vote 10-0).

IV. LIST OF ATTACHMENTS:

Attachment 1	City of Clearwater Ordinance No. 8438-13
Attachment 2	Map of Beach By Design Special Area Plan Area
Attachment 3	Draft PAC Summary Actions Sheet

ORDINANCE NO. 8438-13

AN ORDINANCE OF THE CITY OF CLEARWATER, FLORIDA MAKING AMENDMENTS TO BEACH BY DESIGN: A PRELIMINARY DESIGN FOR CLEARWATER BEACH AND DESIGN GUIDELINES; BY AMENDING SECTION II. FUTURE LAND USE, SUBSECTION C. THE "MARINA DISTRICT," TO REFERENCE THE STANDARDS TO WHICH THE PUBLIC BOARDWALK MUST COMPLY; BY ADOPTING THE MARINA DISTRICT BOARDWALK DESIGN GUIDELINES AND SPECIFICATIONS IN EXHIBIT A; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Clearwater Beach is a major contributor to the economic health of the City overall and the City desires to support the tourism industry; and

WHEREAS, the Marina District is the northern gateway to Clearwater Beach and has a high profile location along Clearwater Harbor and visibility from Causeway Boulevard; and

WHEREAS, it is the desire of the City to attract people to the district and create a pleasant pedestrian environment; and

WHEREAS, there is a need to define the guidelines and specifications for the construction of the public boardwalk in the Marina District; and

WHEREAS, the design specifications are delineated in a separate document entitled "Marina District Boardwalk Design Guidelines and Specifications"; and

WHEREAS, the proposed amendments to *Beach by Design* have been submitted to the Community Development Board acting as the Local Planning Authority (LPA) for the City of Clearwater; and

WHEREAS, the Local Planning Agency (LPA) for the City of Clearwater held a duly noticed public hearing and found that amendments to *Beach by Design* are consistent with the Clearwater Comprehensive Plan and the Clearwater Community Development Code; and

WHEREAS, *Beach By Design* was originally adopted on February 15, 2001, and subsequently amended, now therefore,

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CLEARWATER, FLORIDA:

Section 1. *Beach by Design: A Preliminary Design for Clearwater Beach and Design Guidelines*, Section II, Subsection C. Height Incentives and Required Public Amenities, is amended as follows:

Development located on Clearwater Harbor utilizing a height bonus as outlined in the table below must provide to the City of Clearwater a 15 foot wide boardwalk constructed within a 20-foot public access easement adjacent to the seawall, either over the water or on the land as determined by the City. Any non-waterfront parcel using the height bonus shall contribute financially to the Papaya and Baymont Street streetscape or the public boardwalk, in a manner determined by the City. The public boardwalk shall be built according to the adopted Marina District Boardwalk Design Guidelines and Specifications.

Section 2. " Marina District Boardwalk Design Guidelines and Specifications" attached hereto as Exhibit "A" are hereby adopted.

Section 3. The City Manager or designee shall forward said plan to any agency required by law or rule to review or approve same.

Section 4. Should any part or provision of this Ordinance be declared by a court of competent jurisdiction to be invalid, the same shall not affect the validity of the Ordinance as a whole, or any part thereof other than the part declared to be invalid; and

Section 5. This ordinance shall take effect immediately upon adoption.

PASSED ON FIRST READING

PASSED ON SECOND AND FINAL
READING AND ADOPTED

George N. Cretekos
Mayor

Approved as to form:

Attest:

Leslie K. Dougall-Sides
Assistant City Attorney

Rosemarie Call
City Clerk

Clearwater Marina District Boardwalk Design Guidelines and Specifications

General Information:

The Clearwater Marina District Boardwalk Design Guidelines and Specifications, adopted by Ordinance No. 8438-13, should be considered a supplemental document to the City of Clearwater's special area plan *Beach by Design: A Preliminary Design for Clearwater Beach and Design Guidelines*. It shall guide construction of the public boardwalk along Clearwater Harbor from Baymont Street south to the southern boundary of the District terminating at a public plaza adjacent to the public parking lot north of Memorial Causeway.

This document provides specific requirements regarding the design and construction of the public boardwalk on private property, as well as the public entrances to be constructed by the City of Clearwater at Papaya and Baymont Streets and the public plaza to be constructed by the City of Clearwater adjacent to the public parking lot north of Memorial Causeway.

Where feasible the boardwalk should be constructed completely over the water rather than on uplands. Exceptions may be granted on properties adjacent to the public entrances at Papaya and Baymont Streets or when a hardship prevents construction over the water.

Public entrances and sidewalks should incorporate all required street-scaping standards identified within the *Beach by Design* document. The sidewalk along East Shore Drive and the sidewalk from the public plaza to the east/west sidewalk at Memorial Causeway should be provided as indicated herein.

The boardwalk and sidewalk shall be compliant with all governing codes and regulations including compliance with the Florida American with Disabilities Act Accessibility Guidelines.

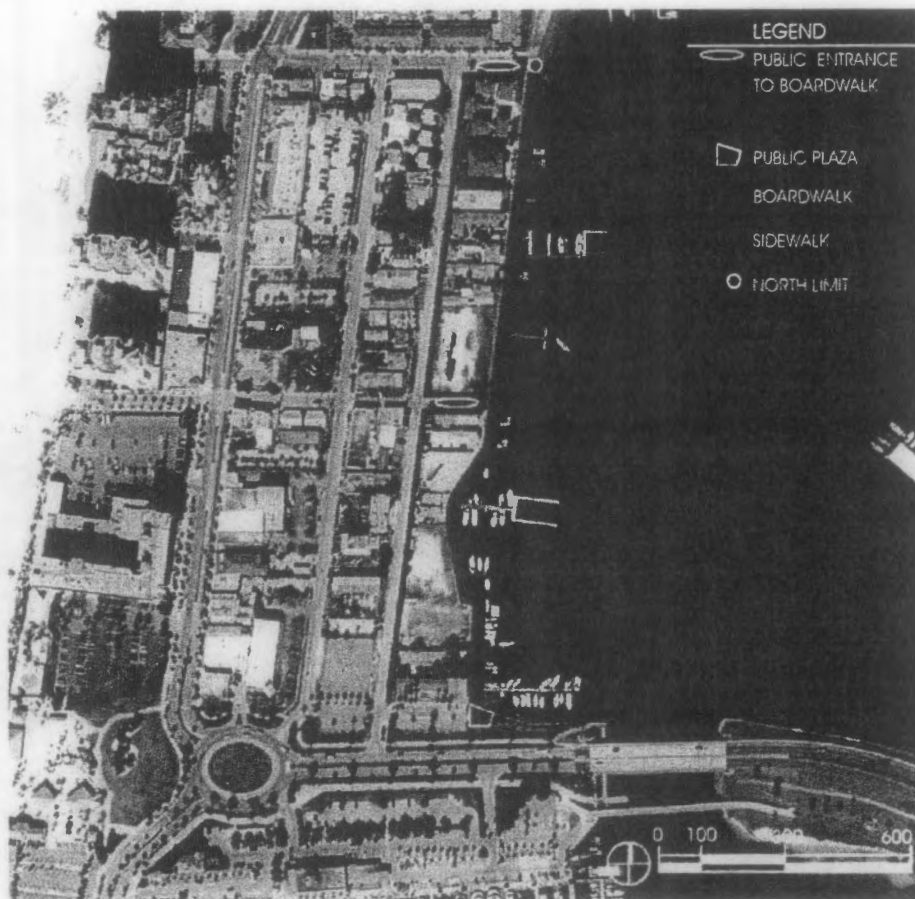


Figure 1 - Scope of Boardwalk & Sidewalk Guidelines

Property owners required to construct the new public boardwalk as a result of the development approval process are responsible for constructing a continuous portion of public boardwalk along the length of their property as indicated herein. Property owners adjacent to public entrances to the public boardwalk must also address, integrate and transition to the public entrances. Public boardwalk and transitions requiring environmental engineering for permitting will be the responsibility of the property owner. Environmental engineering required for the public plazas will be the City's responsibility.

Private property transitions including any and all stairs, ramps, railings, or continuation of decking from or transitioning to the public boardwalk or public entrances shall be accessible. All work shall be consistent with these guidelines and must be consistent in fit and finish, complementary to the new public boardwalk and its entrances. All phases of design documents shall be submitted to the City of Clearwater for review, comment and approval by the City's Parks & Recreation Department.

The City of Clearwater - Parks and Recreation Department shall be responsible for maintaining the constructed public boardwalk up to the private property owners adjacent property upon acceptance the boardwalk is constructed to the satisfaction of the Parks & Recreation Department and after the one year warranty construction period is completed and walk through acceptance by the City of Clearwater - Parks and Recreation Department.

Clearwater Marina District Boardwalk Design Guidelines and Specifications

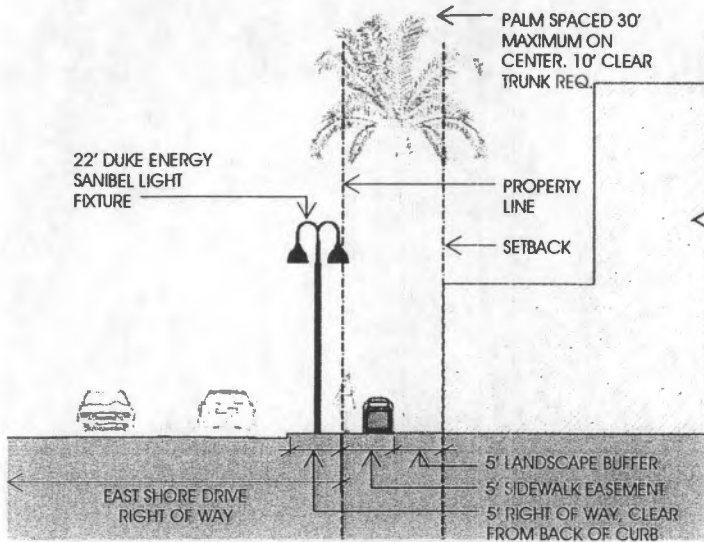


Figure 2 - East Shore Drive Sidewalk Section Diagram

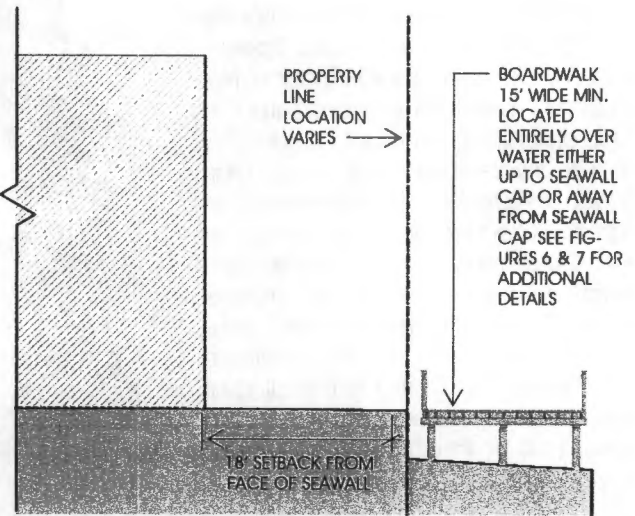


Figure 3 - Boardwalk Section Diagram

Sidewalk Requirements: (East Shore Drive)

As shown in Figure 1 & 2 and as stated within the Beach by Design guidelines, a 10 foot wide (clear and starting from the street curb) pedestrian sidewalk along East Shore Drive shall be provided. An easement shall be required as necessary to provide this distance. The following sidewalk improvements shall be provided, including street lighting, trash receptacles, landscaping & hardscaping material. All improvements shall not interrupt pedestrian movement along the sidewalk.

Sidewalk finish material: coquina shell topping surface
Provide gray concrete sidewalk with broadcast coquina shell topping

Lighting: Duke Energy's 22' Sanibel Light Fixture

Duke Energy's High Pressure Sodium 100 watt, 9500 lumens Sanibel Light Fixture, mounted 22 feet high and spaced maximum 60 feet on center.

Trash receptacles: Bright Ideas Shop, FP6095-P—Jumbo Waste Series

Provide trash receptacles along the sidewalk spaced 75' on center and within the 5 foot sidewalk easement.

Landscaping:

Provide palm trees spaced at a maximum of 30' on center with 10' of "clear trunk" base minimum. Acceptable palm trees include Butia Capaitata (Pindo Palm) or Butiagrus nabonnandii (Mule Palm)

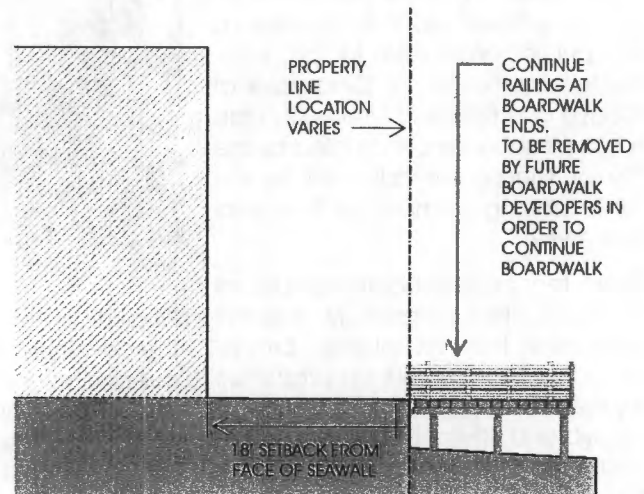


Figure 4 - Boardwalk Section Diagram with ends

Boat Dock Transitions: (to & from public boardwalk)

Any and all private or public boat docks, transitioning to or from the public boardwalk shall be compliant with all governing codes and regulations including compliance with the Florida American with Disabilities Act Accessibility Guidelines, the Pinellas County Water & Navigation Code, including Section 166-325 Boardwalk and Observation Platforms on Commercial & Multi-Use properties & Section 166-332 Minimum Construction Specification for all dock construction.

Clearwater Marina District Boardwalk Design Guidelines and Specifications

Public Entrance Requirements: (At Papaya & Baymont Streets, drop off areas shall be provided)

There will be three public pedestrian oriented park plaza accesses to the boardwalk. Two located east of East Shore Drive at Papaya Street and Baymont Streets. These street ends shall be converted from streets to public entry pedestrian plazas to the boardwalk with vehicular drop off areas. At the southern end of the boardwalk a public pedestrian access plaza shall be created east of the public parking lot and this plaza will connect to the sidewalk running east / west along the Memorial Causeway Boulevard. Other improvements shall include sidewalk pathways leading to the boardwalk entrances, lighting, seating areas, trash receptacles, bicycle racks, water fountains, collapsible bollards, and landscaping & hardscaping. All improvements shall not interrupt pedestrian pathways.

Sidewalk finish material: coquina shell topping surface

Provide gray concrete sidewalk with broadcast coquina shell topping

Lighting: Duke Energy's 22' Sanibel Light Fixture

Provide lighting suitable for pedestrian pathways and seating areas.

Benches:

Provide benches at seating areas.

Trash receptacles: Bright Ideas Shop, FP6095-P—Jumbo Waste Series

Provide trash receptacles spaced equally and within 75' of each other

Bicycle Racks: Bikeparking.com WCR02-SF Welle Circular surface mount. Color: Match existing bicycle racks.

Provide bicycle racks secured in accordance with manufacturer's specifications. All bicycle rack materials including fasteners shall be stainless steel 316 grade. Bike racks are not to be provided along East Shore Drive.

Water fountains: Manufacturer, Most Dependable Fountains, Mostdependablefountains.com, 10135 SMSS Chrome

Provide water fountains in accordance with manufacturer's requirements. Fountain materials, including fasteners shall be stainless steel 316 grade. Provide 3' diameter dry well 2' deep adjacent to fixture for water fountain drainage.

Bollards:

Provide powder coated, stainless steel 316 grade collapsible bollards at vehicular drop off areas to limit vehicular access to pedestrian areas. Provide powder coating color sample to City of Clearwater for approval.

Landscaping:

Provide plant material at each public entry to the public boardwalk. All plant material shall meet Florida Grade #1 or better. Planting shall be performed in accordance with the Florida Nurserymen's and Grower's Landscape Association approved practices.

Acceptable landscape material:

a. Tree / Palms

- i. 10' Butia Capitata (Pindo Palm)
- ii. 10' Butiagrus naboronnandii (Mule Palm)
- iii 10' Ligustrum japonicum

b. Shrub types

- i. Muhlenbergia lindheimeri 3 gallon containers 18"-24" height planted 3' on center
- ii. Podocarpus macrophylla 3 gallon containers 18"-24" height planted 3' on center
- iii. Ilex species 3 gallon containers 18"-24" height planted 3' on center
- iiii. Grass species 3 gallon containers 18"-24" height planted 3' on center

Clearwater Marina District Boardwalk Design Guidelines and Specifications

Landscaping: (Continued)

c. Ground cover species

- I. *Trachelospermum asiaticum* variegated – Variegated Asian Jasmine 1 gallon containers 10"-12" spread planted 1' on center
- II. *Trachelospermum asiaticum* green – Green Asian Jasmine 1 gallon containers 10"-12" spread planted 1' on center
- III. *Arachis glabrata* - Perennial Peanut 1 gallon containers 10"-12" spread planted 1' on center

Boardwalk Material Requirements:

This section contains the requirements related to boardwalk materials, including pile bents (wood pilings & piles caps), wood piles, pile caps, wood stringers, composite decking, railings, lighting, and fasteners. Boardwalk must accommodate a 2000 lb vehicular live load. Furthermore requirements herein are meant to be consistent with Pinellas County Water & Navigation Code, including Section 166-325 Boardwalk and Observation Platforms on Commercial & Multi-Use properties & Section 166-332 Minimum Construction Specification for all dock construction. Where discrepancies occur the more restrictive requirements shall govern.

Boardwalk Timber Piles:

Provide Southern Yellow Pine piles in accordance with ASTM D 25. Piles shall be round timber that are unused, clean peeled, and in one piece from butt to tip. Piles shall be pressure treated according to AWWA C3 and AWWA C18 standards for marine service conditions. Structural member sizes shall be determined by the applicant and/or applicant's representative, piles shall not be less than 8 inches in diameter and piles shall be penetrated not less than 8' below mud line. Piles should be terminated below finished decking material not to exceed 10 feet above mean high water levels.

Pile Wrapping:

All piles shall be wrapped with .060 mil/LF High Density Polyethylene pile wrapping material. Pile wrapping shall extend continuously from mud line to 2' above mean high water line.

Pile Bents: (Pile and Pile cap)

Pile bents spacing should be determined by the applicant and/or applicant's representative, not exceed 12' on-center. All pile bents shall have at a minimum 2" x 8" pile caps, bearing stringers to support deck joists. All intersections shall be bolted.

Pile Caps:

Pile caps shall be at a minimum 2" x 8" pressure treated lumber. All intersections shall be bolted.

Stringers:

Outside stringer systems shall be doubled 2" x 8" pressure treated lumber or greater. Provide 5/8" diameter stainless steel bolts or greater to attach stringers to pilings. Intermediate stringers shall be single 2" x 8" pressure treated lumber or greater spaced not less than 16" O.C. to accommodate light vehicular traffic. Not to exceed a live load of 2000 lbs. All structural member sizing, spacing and fastening requirements must be determined by the applicant and/or applicant's representative.

All Timber/Lumber:

Shall be pressure treated and rated for ground contact. All wood members, including pressure treated wood members and all concealed wood members clad with Trex Transcend composite decking material, shall be finished at all surfaces with Sikkens Cetol Waterborne SRD Translucent Wood Finish in accordance with manufacturer's requirements. Pressure treated lumber must be fully cured (6 weeks) prior to receiving Sikkens treatment.

Fasteners:

All metal fasteners, including but not limited to, bolts, screws, and nails, etc. shall be stainless steel 316 grade. Only 316 grade stainless steel will be accepted. All bolts shall extend no further than 3 or 4 threads beyond nut fastener.

Decking: Trex Transcend 2" x 6" composite decking material. Deck Color 1: Gravel Path; Deck Color 2: Rope Swing. Install in accordance with manufacturer's requirements. Decking should be cut to length and shall not extend to outside stringer not to exceed more than 2" beyond. See sections and drawing diagrams contained within this document.

Clearwater Marina District Boardwalk Design Guidelines and Specifications

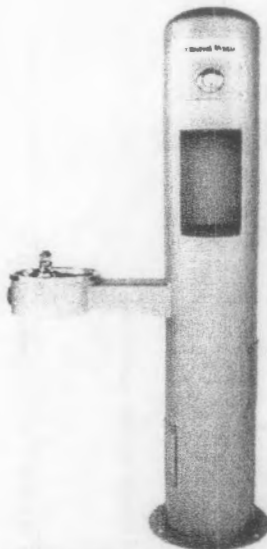
Boardwalk Material Requirements: (Continued)

Railing: Trex Transcend 2" x 6" composite decking material. Deck Color 1: Gravel Path; Deck Color 2: Rope Swing
Provide railings configured in accordance with sections, elevations, and details contained within this document. Only provide railings where required by applicable codes. Top rails shall not be less than 42" above finished walkway surface.

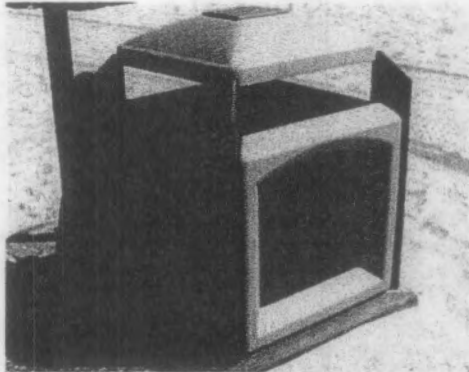
Benches: Trex Transcend 2" x 6" composite decking material. Deck Color 1: Gravel Path
Provide benches at public boardwalk configured in accordance with sections and details contained within this document. Provide benches spaced every 40'-0" along the length of boardwalk walkway.

Lighting: Post mounted Stonelight, LED light fixtures. Color: Requires approval by City of Clearwater Parks & Recreation Department. At Boardwalk walkways provide LED light fixtures integrally mounted to railing posts and as indicated at railing elevation and section drawings. Provide LED light fixtures spaced every 12' on center along both sides of boardwalk. Provide infrastructure as required.

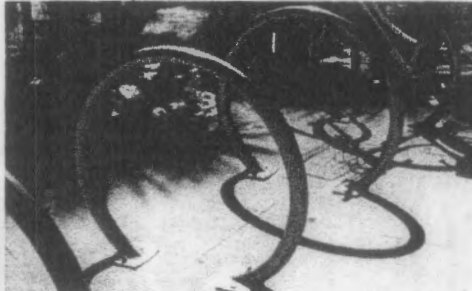
Trash Receptacles: Bright Ideas Shop, FP6095-P - Jumbo Waste Series. Color: Match existing receptacles.
At Boardwalk walkways provide trash receptacles spaced every 120' on center along boardwalk adjacent to benches and as dimensioned. Provide trash receptacles where indicated, see diagram contained within. All trash receptacles to receive a 316 stainless steel plate provided by the City of Clearwater - Parks & Recreation Department and shall be screwed onto the top cap of trash receptacles to prevent cigarette burns.



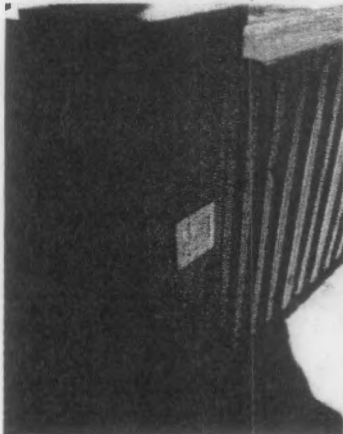
Mostdependablefountains.com, 10135 SMSS Chrome, for use at entry nodes



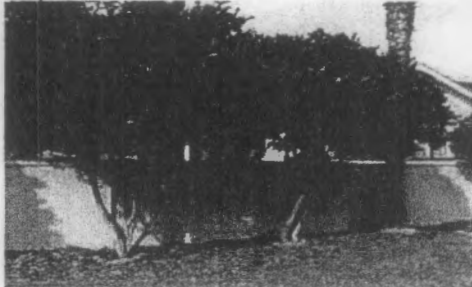
Bright Ideas Shop, Trash Receptacle FP6095-P, for use at sidewalks, entry nodes, & at boardwalk



Bikeparking.com, WCR02-SF bicycle racks, for use at entry nodes



Stonelight LED light fixture



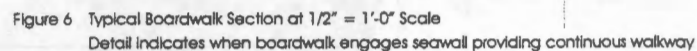
Ligustrum japonicum

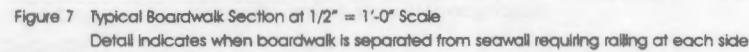


Butia Capitata Pindo Palm



Butiagrus naboronnandii Mule Palm





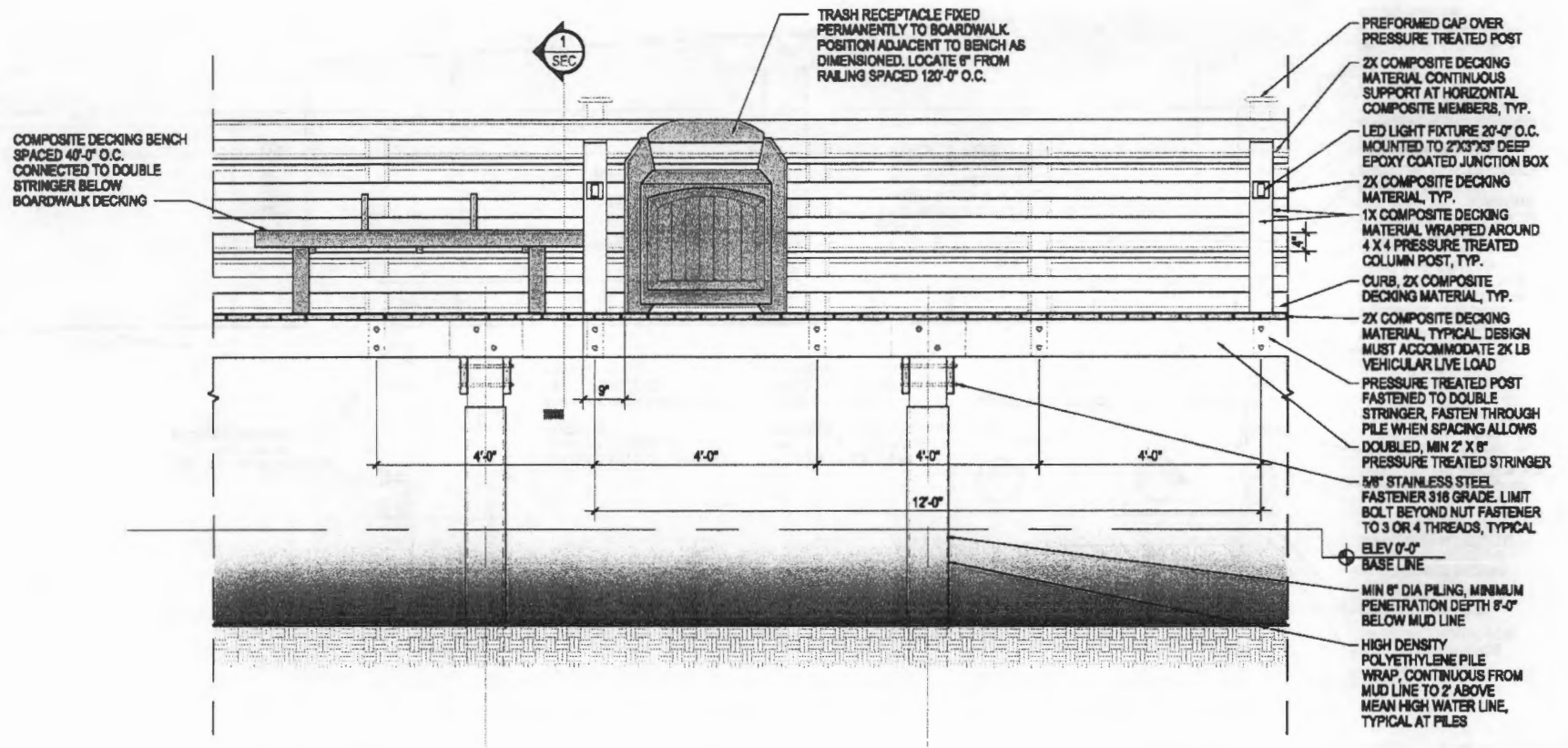


Figure 8 Typical Boardwalk Railing Elevation at 1/2" = 1'-0" Scale

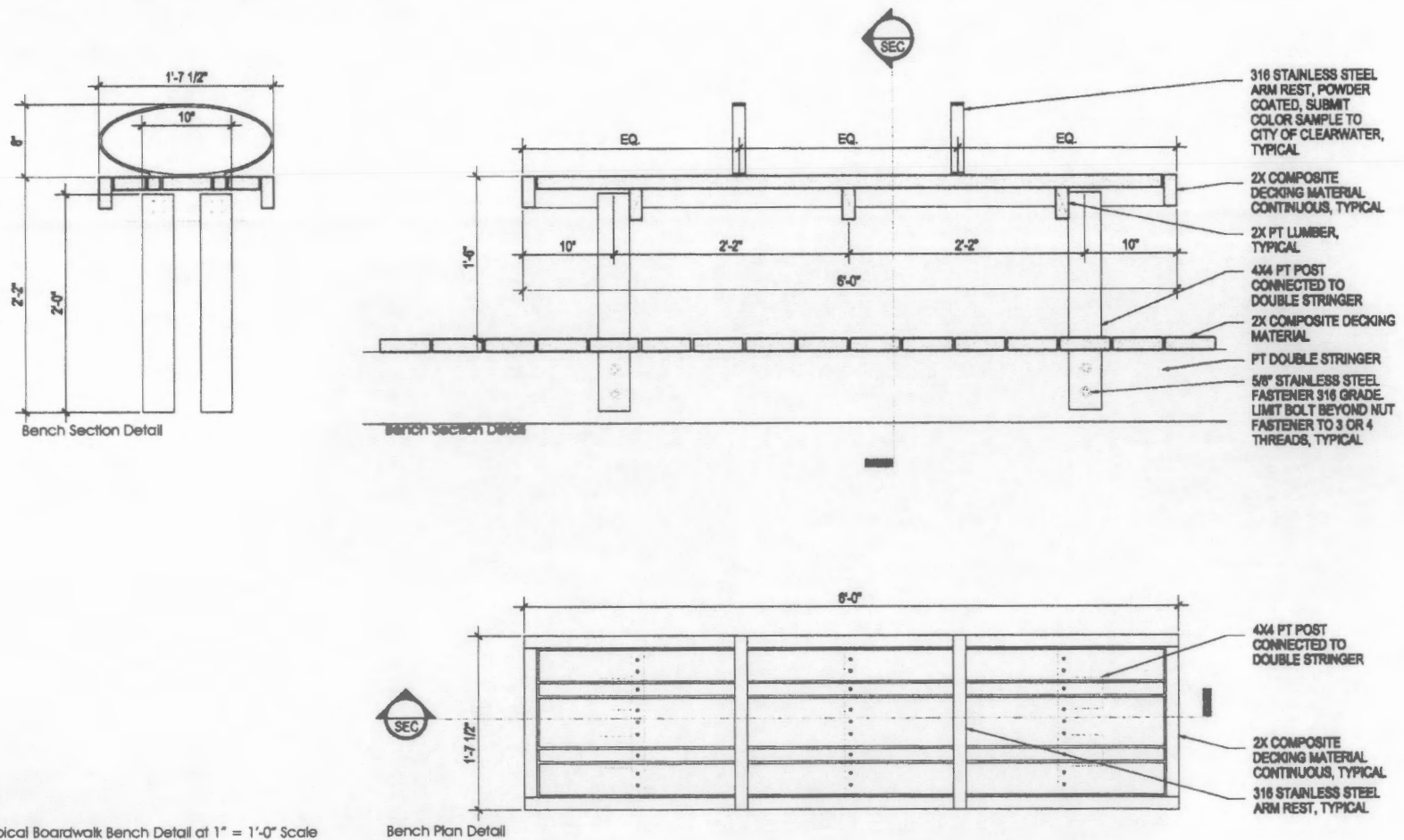


Figure 9 Typical Boardwalk Bench Detail at 1" = 1'-0" Scale



COMMUNITY DEVELOPMENT BOARD PLANNING AND DEVELOPMENT DEPARTMENT STAFF REPORT

MEETING DATE: July 16, 2013

AGENDA ITEM: G.2.

ORDINANCE NO.: 8438-13

REQUEST: Amendment to *Beach by Design*

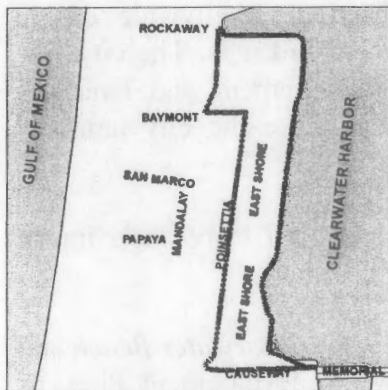
INITIATED BY: City of Clearwater, Planning and Development Department

BACKGROUND:

In 2001, the City adopted *Beach by Design: A Preliminary Design for Clearwater Beach and Design Guidelines*. This special area plan sets forth a series of revitalization strategies for Clearwater Beach and established character districts to regulate land use, location of uses, and, generally, the scale of development. The proposed amendment to the Marina District section of *Beach by Design* incorporates language referencing new "Marina District Design Guidelines and Specifications" and adopts by reference detailed design guidelines and specifications for the development of the public boardwalk contained within the document which was developed by the City's Parks and Recreation Department.

The Marina District covers the area to the east of Poinsettia Avenue, north of Causeway Boulevard, and south of the Clearwater Beach Recreation Complex. It is a mixed-use district occupied by residential, motel, and limited commercial uses in at-grade structures primarily one-two stories in height. *Beach by Design* supports the redevelopment of the Marina District into a pedestrian and boater-friendly destination that includes a variety of dock facilities and water related uses. To realize this vision, *Beach by Design* offers development incentives of increased building height for waterfront development proposals that provide to the City a 15-foot wide boardwalk within a 20-foot public access easement adjacent to the seawall, either over water or on the land

as determined by the City. Non-waterfront development proposals are able to capitalize upon the height bonus by contributing financially to the Papaya and Baymont Street streetscapes or the public boardwalk in a manner determined by the City. The public boardwalk is intended to run along Clearwater Harbor from Baymont Street to the north, to Causeway Boulevard (State Road 60), the southern boundary of the District, and should be connected when appropriate to the City Marina's boardwalk located under Causeway Boulevard.



ANALYSIS:

Proposed Ordinance No. 8438-13 includes an amendment to Section II. Future Land Use, Subsection C. The Marina District, of *Beach by Design*, in order to include language referring to the “Marina District Design Guidelines and Specifications.” It also adopts by reference the “Marina District Design Guidelines and Specifications” which provides specific information regarding the design of the boardwalk as well as the sidewalk along East Shore Drive.

The new design guidelines and specifications address requirements including finish materials, lighting, trash receptacles, benches, landscaping, and specific requirements related to the boardwalk construction and materials (e.g., timber piles, decking, and railing). Typical sections of the boardwalk and East Shore Drive sidewalk are provided as well, in order to provide further guidance and illustrate the requirements. The document also identifies two required public entry nodes at Baymont and Papaya Streets, as well as a public access plaza adjacent to the public parking lot north of Memorial Causeway, and provides specifications with regards to finish materials, landscaping, bicycle racks, water fountains, and lighting for these entry nodes.

CRITERIA FOR TEXT AMENDMENTS:

Section 4-601, Community Development Code, sets forth the procedures and criteria for reviewing text amendments. All text amendments must comply with the following:

1. The proposed amendment is consistent with and furthers the goals, policies and objectives of the Comprehensive Plan.

A review of the Clearwater Comprehensive Plan identified the following Goals, Objectives, and Policies which will be furthered by the proposed Code amendments:

- | | |
|-----------------|--|
| Goal A.5 | The City of Clearwater shall identify and utilize a citywide design structure comprised of a hierarchy of places and linkages. The citywide design structure will serve as a guide to development and land use decisions while protecting those elements that make the city uniquely Clearwater. |
| Objective A.5.5 | Promote high quality design standards that support Clearwater’s image and contribute to its identity. |
| Policy A.5.5.4 | Update <i>Beach by Design: A Preliminary Design for Clearwater Beach</i> and Design Guidelines, the Clearwater Downtown Redevelopment Plan, as needed. |
| Objective A.6.1 | The redevelopment of blighted, substandard, inefficient and/or obsolete areas shall be a high priority and promoted through the implementation of redevelopment and special area plans, the construction of catalytic private projects, city investment, and continued emphasis on property maintenance standards. |

- Policy A.6.1.1 Redevelopment shall be encouraged, where appropriate, by providing development incentives such as density bonuses for significant lot consolidation and/or catalytic projects, as well as the use of transfer of developments rights pursuant to approved special area plans and redevelopment plans.
- Policy A.6.1.2 Renewal of the beach tourist district shall be encouraged through the establishment of distinct districts within Clearwater Beach, the establishment of a limited density pool of additional hotel rooms to be used in specified geographic areas of Clearwater Beach, enhancement of public rights-of-way, the vacation of public rights-of-way when appropriate, transportation improvements, inter-beach and intra-beach transit, transfer of development rights and the use of design guidelines, pursuant to *Beach by Design: A Preliminary Design for Clearwater Beach and Design Guidelines*.
- Objective A.6.6 Tourism is a substantial element of the City's economic base and as such the City shall continue to support the maintenance and enhancement of this important economic sector.

The proposed amendment is intended to provide a clear and cohesive set of design guidelines and specifications to be used to develop the public boardwalk in the Marina District. The development will be designed to maintain and support the envisioned character of the neighborhood. The Marina District is the northern gateway to Clearwater Beach and has a high profile location along Clearwater Harbor and visibility from Causeway Boulevard. The construction of a public boardwalk along Clearwater Harbor will create a pleasant pedestrian environment and will encourage a flow of pedestrians that will contribute to the economic development and tourism activities along the east shore of Clearwater Beach. As such, the proposed amendment will further the above referenced elements of the Comprehensive Plan.

2. The proposed amendment furthers the purposes of the Community Development Code and other City ordinances and actions designed to implement the Plan.

The proposed text amendment will further the purposes of the CDC in that it will be consistent with the following purposes set forth in CDC Section 1-103:

- Allowing property owners to enhance the value of their property through innovative and creative redevelopment (*Section 1-103.B.1., CDC*).
- Ensuring that development and redevelopment will not have a negative impact on the value of surrounding properties and wherever practicable promoting development and redevelopment which will enhance the value of surrounding properties (*Section 1-103.B.2., CDC*).
- Protect the character and the social and economic stability of all parts of the city through the establishment of reasonable standards which encourage the orderly and beneficial development of land within the city (*Section 1-103.E.2., CDC*).

- Preserve the natural resources and aesthetic character of the community for both the resident and tourist population consistent with the city's economic underpinnings (*Section 1-103.E.5., CDC*).
- Provide for open spaces through efficient project design and layout that addresses appropriate relationships between buildings on the project site and adjoining properties, including public rights-of-way and other public spaces (*Section 1-103.E.6., CDC*).

The amendment proposed by this ordinance will further the above referenced purposes by providing clear design guidelines and specifications for constructing the public boardwalk in the Marina District in Clearwater Beach that will serve to protect the character and the social and economic stability of Clearwater Beach. Due to the high visibility of the Marina District from Causeway Boulevard, and its location within Clearwater Beach, a public boardwalk with a network of docks will add to the aesthetic character of the community for both resident and tourist populations. It will also provide for a unique public space that will encourage the flow of pedestrians throughout the east shore, thereby enhancing the area's sense of place and the economic vitality of the District.

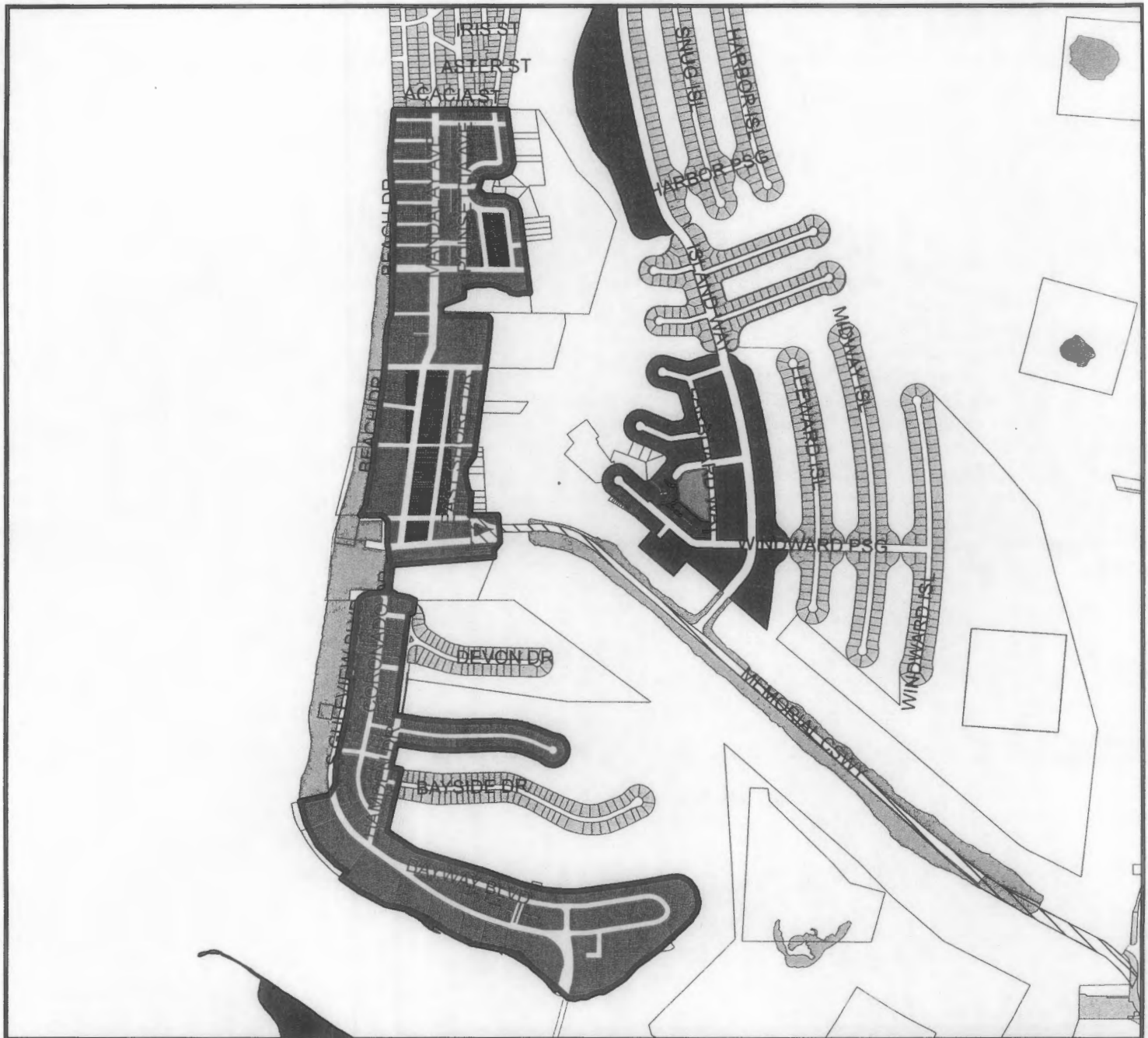
SUMMARY AND RECOMMENDATION:

The proposed amendment to *Beach by Design: A Preliminary Design for Clearwater Beach and Design* is consistent with and will further the goals of the Clearwater Comprehensive Plan and the purposes of the Community Development Code. Further, the proposed ordinance adopts by reference the "Marina District Design Guidelines and Specifications" which establishes criteria to be followed for construction of a new boardwalk in the Marina District and sidewalk improvements along East Shore Drive. Based upon the above, the Planning and Development Department recommends **APPROVAL** of Ordinance No. 8438-13 that amends *Beach by Design*.

Prepared by Planning and Development Department Staff: _____




Andrew Hayslip
Planner II

ATTACHMENTS:
Ordinance No. 8438-13
Resume



Legend




Residential

-  Residential Urban
-  Residential Medium
-  Residential High





Commercial

-  Commercial General

Public / Semi-Public

-  Preservation
-  Recreation / Open Space
-  Institutional

Special Designations

-  Water
-  Community Redevelopment District
-  Central Business District
-  Scenic Corridors

Attachment 2 - Map of Beach By Design Plan Area

CASE #: CW01-25 (SAP Change No. 7-2013)

JURISDICTION: Clearwater



1" = 1,553'



PAC AGENDA – SUMMARY AGENDA ACTION SHEET

DATE: September 3, 2013

ITEM	ACTION TAKEN	VOTE
I. <u>MINUTES OF REGULAR PAC MEETING OF JULY 1, 2013</u>	<u>Approved</u> Motion: Dean Neal Second: Marie Dauphinais	10-0
II. <u>REVIEW OF PPC AGENDA FOR SEPT. 11, 2013</u>	<u>Approved</u>	10-0
A. <u>Subthreshold Land Use Plan Amendments -</u>	Motion: Dean Neal Second: Bob Klute	
1. Case CW 13-7: Pinellas County		
2. Case CW 13-8: Pinellas County	<u>Approved</u> Motion: Dean Neal Second: Renea Vincent	10-0
B. <u>Regular Land Use Plan Amendments -</u>	<u>Approved inclusive of separate and additional recommendation</u>	10-0
3. Case CW 13-9: City of Clearwater (McMullen-Booth Rd.)	Motion: Dean Neal Second: Renea Vincent	
4. Case CW 13-10: City of Clearwater (Montclair Road)	<u>Approved subject to amendment of the Scenic/Noncommercial corridor submap 1 to expand the mixed use subclassification to include the Residential Medium Category area northeast of Beckett Lake and inclusive of the separate and additional recommendation.</u> Motion: Dean Neal Second: Marie Dauphinais	10-0
5. Case CW 13-11: City of Oldsmar	<u>Approved recommendation subject to the enumerated condition</u> Motion: Dean Neal Second: Jan Norsoph	10-0
C. <u>Proposed Minor Plan Change to Beach by Design Special Area Plan – Case CW 01-25 (SAP Change No. 7-2013)</u>	<u>Recommended Receive and Accept for transmittal to the Countywide Planning Authority for Receipt and Acceptance</u> Motion: Dean Neal Second: Renea Vincent	10-0
D. <u>CPA Actions – July and August 2013</u>	<u>No Action – Information Only</u>	
E. <u>Annexation Report – July and August 2013</u>	<u>No Action – Information Only</u>	